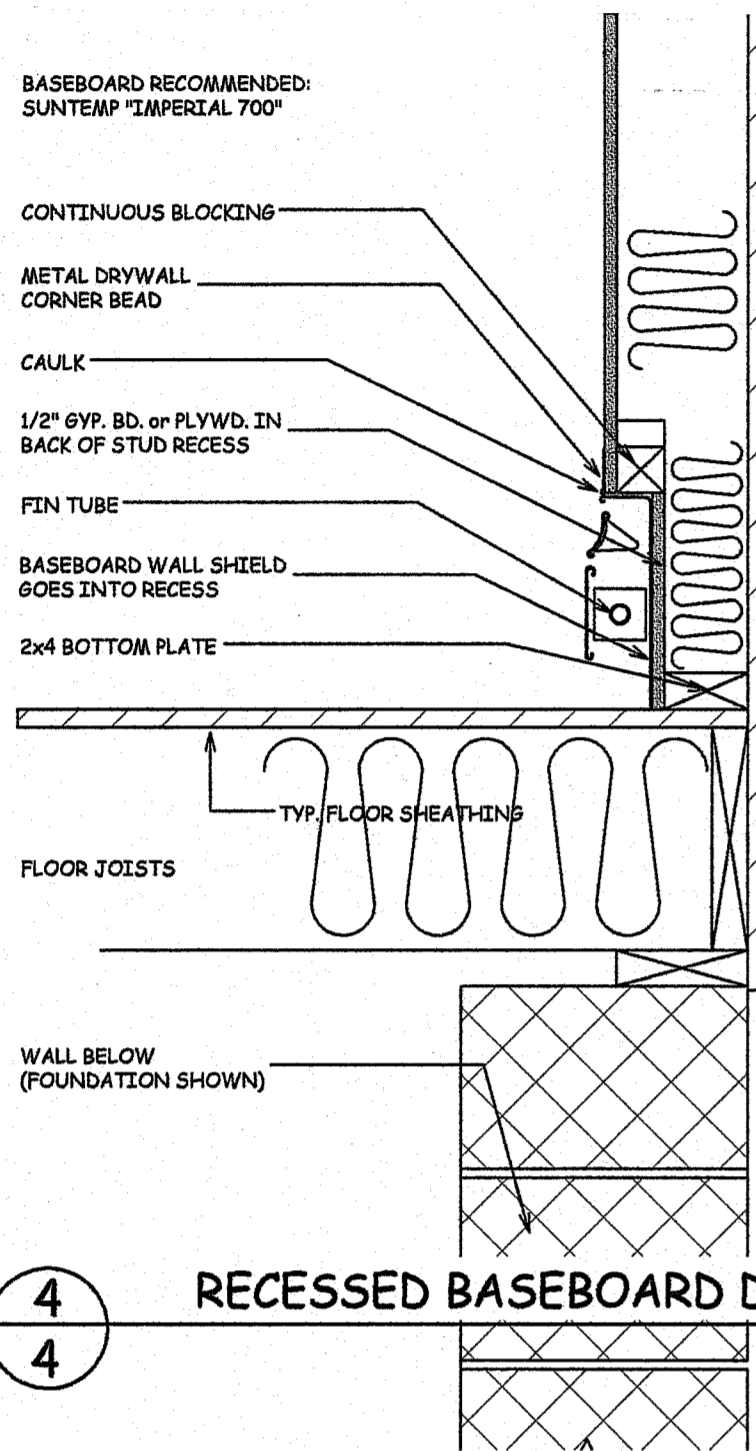


**CONCRETE WORK**

1. CODES AND STANDARDS: ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI-347, "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK", ACI-304, "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"; READY MIX CONCRETE SHALL BE IN ACCORDANCE WITH ASTM C-94.
2. COMPRESSIVE STRENGTH OF CONCRETE 3,000 PSI AT 28 DAYS. MAX. SLUMP OF ALL CONC. SHALL BE 4". IN LIEU OF TESTING, CONTRACTOR SHALL PROVIDE CERTIFIED MIX RECEIPTS, DELIVERED TO OWNER.
3. WHEN PLACING INTERIOR CONCRETE SLABS, DO NOT PUNCTURE THE VAPOR BARRIER. BE CAREFUL WITH CURING BECAUSE VIRTUALLY NO WATER WILL BE LOST TO THE SUBGRADE.
4. USE AIR-ENTRAINING ADMIXTURE IN ALL CONCRETE THAT IS EXPOSED TO FREEZING AND THAWING, PROVIDING NOT LESS THAN 4% NOR MORE THAN 6% ENTRAINED AIR.
5. NO CONCRETE SLABS OR FOOTINGS SHALL BE PLACED UNTIL SUBGRADE PREPARATION IS INSPECTED AND APPROVED BY THE MUNICIPALITY.
6. FINISHES: EXPOSED TO VIEW VERTICAL SURFACES SHALL HAVE A RUBBED FINISH IN ACCORDANCE WITH ACI-301. FLOOR SLABS SHALL HAVE A STEEL TROWEL FINISH. EXTERIOR WALKWAYS TO HAVE BROOM FINISH.



1. HAVE SECTION OF BASEBOARD ON SITE FOR MEASURING.
2. PRE-CUT EXTERIOR WALL STUDS, REMOVE 2" FROM BOTTOM OF 2x4 STUD, 12" HIGH, FOR WIDTH OF 2x4 BOTTOM PLATE.
3. BUILD 2x6 WALL NORMALLY, HOWEVER USING 2x4 BOTTOM PLATE.
4. ESTABLISH HEIGHT OF RECESS USING BASEBOARD HEATING SYSTEM SELECTED, THEN INSTALL CONTINUOUS BLOCKING TO SUPPORT DRYWALL CORNER BEAD, THIS CONT. BLOCKING IS IMPORTANT AS DRYWALL CORNER WILL TRY TO EXPAND WITH HEAT.
5. PLACE INSULATION, THEN INSTALL 1/2" BACKING MATERIAL IN RECESS.
6. INSULATE AND INSTALL WALL 6\"/>

SCALE 1 1/2" = 1'-0"

**GENERAL NOTES:**

1. PROJECT GUARANTEE: THE CONTRACTOR(S) AND ALL SUBCONTRACTORS UNDER HIS RESPONSIBILITY SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL FOR A MINIMUM OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION. WITHIN THE ONE-YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL REMAIN RESPONSIBLE TO THE OWNER FOR PROMPT AND DILIGENT REPAIR OR REPLACEMENT OF FAILED MATERIALS AND OR WORKMANSHIP. COMPONENTS, EQUIPMENT AND INSTALLATIONS THAT ARE PROTECTED WITH EXTENDED MANUFACTURER'S WARRANTIES SHALL BE IDENTIFIED TO THE OWNER. THE OWNER SHALL RECEIVE RECEIPTS AND VALIDATED WARRANTY REGISTRATIONS DEMONSTRATING THESE PROTECTIONS. TITLE TO ALL EQUIPMENT AND COMPONENTS WITH WARRANTIES SHALL BE MADE IN THE OWNER'S NAME.
  2. QUALITY OF WORKMANSHIP AND MATERIALS: THE CONTRACTOR(S) AGREES HE SHALL ENGAGE WORKMEN EXPERT IN THEIR RESPECTIVE TRADES WHOSE WORK SHALL COMPLY WITH THE HIGHEST STANDARDS OF THEIR RESPECTIVE TRADE ASSOCIATIONS. IT IS UNDERSTOOD THE ARCHITECT HAS NOT DETAILED OR SPECIFIED ALL ASPECTS OF THE WORK WHICH ARE A "COMMONLY UNDERSTOOD CONSTRUCTION PRACTICE". IF INTERPRETATIONS OR CLARIFICATIONS ARE REQUIRED, THE CONTRACTOR(S) SHALL SECURE SUCH INFORMATION FROM THE ARCHITECT OR THE OWNER BEFORE PROCEEDING.
  3. CONSTRUCTION DEBRIS: ALL CONSTRUCTION MATERIAL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE GC. DAILY CLEANUP SHALL BE IN CONTAINERS OR DUMPSTERS MAINTAINED BY THE GC. DO NOT BURY OR BURN ANY MATERIAL AT THE SITE.
  4. SITE SAFETY: THE GENERAL CONTRACTOR GAINS COMPENSATION FOR ORGANIZING AND EXECUTING THE WORK AT THE SITE. THUS, THE GC IS RESPONSIBLE FOR ALL SITE SAFETY PRECAUTIONS AND ALL SITE SUPERVISION.
  5. PORTABLE TOILETS: THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PERSONAL SITE SANITATION REQUIRED FOR HIS WORKMEN. THE OWNER'S FACILITIES ARE NOT AVAILABLE.
- PERMITS AND MUNICIPAL APPROVALS:**
1. THE GENERAL CONTRACTOR WILL PREPARE AND APPLY FOR ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING ZONING. HE SHALL START THE PERMIT PROCESS AND MAINTAIN THE RESPONSIBILITY FOR COORDINATION & INSPECTIONS THROUGHOUT THE PROJECT.
  2. UNDER THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, PERMITTING IS A MULTI-PART PROCESS, WITH SEPARATE SECTIONS RELATING TO MAJOR TRADES. BECAUSE PARTS ARE INTER-RELATED, SOME MUNICIPALITIES REQUIRE ALL PARTS BE SUBMITTED AT THE SAME TIME. THIS REQUIRES PLANNING AND COORDINATION BY THE GENERAL CONTRACTOR, AND MAY INCLUDE SEPARATE REVIEWERS (THIRD PARTY) FOR DIFFERENT PARTS, VARIOUS REQUIREMENTS, AND FORMS.
  3. THE ARCHITECT'S DRAWINGS DESCRIBE THE: A) STRUCTURAL DESIGN; B) THE EXTERIOR BUILDING ENVELOPE; C) AND ENERGY CONSERVATION REQUIREMENTS. IN GENERAL, THE ARCHITECT IS DESCRIBING THE OVERALL BUILDING SHELL, AND LOCATING THE MAJOR FIXTURES AND EQUIPMENT. THE ARCHITECT MAY, OR MAY NOT, INCLUDE PERFORMANCE SPECIFICATIONS FOR OTHER WORK.
  4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TRADE INPUT REQUIRED TO COMPLETE THE PERMIT PROCESS. THE ARCHITECT IS NOT PROVIDING DESIGN AND DOCUMENTATION OR INSTALLATION DETAILS FOR PLUMBING, SPRINKLER, HVAC, ELECTRICAL OR SECURITY SYSTEMS WORK. THE GC MUST ENGAGE QUALITY SUBCONTRACTORS WITH THE EXPERTISE AND CAPABILITY TO PROVIDE ANY DOCUMENTATION (SHOP DRAWINGS, EQUIPMENT SIZING, PLUMBING RISER DIAGRAMS, DESIGN LAYOUTS, HEAT GAIN & HEAT LOSS CALCULATIONS, ELECTRICAL LOAD CALCULATIONS, CATALOG CUT SHEETS, EQUIPMENT ENERGY RATINGS, ETC.) NECESSARY TO SUPPORT THESE PERMIT SECTIONS.

**GYPSON BOARD SYSTEMS:**

1. GYPSUM BOARD SHALL BE INSTALLED TO THE HIGHEST STANDARDS OF THE TRADE. INSTALL LONGEST BOARDS POSSIBLE, LENGTHWISE, TO MINIMIZE JOINING.
2. SPACKLING SHALL BE A THREE COAT SYSTEM. SAND AND PAINT WITH WALL PRIMER AFTER FIRST COAT. SAND AFTER SECOND COAT, DAMP SPONGE AFTER LAST COAT.
3. WORK TO BE INSTALLED WITH SCREWS, NO NAILS, NO ADHESIVES.
4. IF APPLICABLE, AT RECESSED BASEBOARD HEAT DETAIL. MAKE SURE CORNER BEAD AT TOP OF RECESS IS SCREWED TO CONCRETE. EXPANSION DURING HEATING SEASON. MAKE SURE FRAMER PROVIDES CONTINUOUS BLOCKING FOR THIS CORNER BEAD.
5. NO PLASTIC "J" CHANNEL AT WINDOW HEADS OR JAMBS.

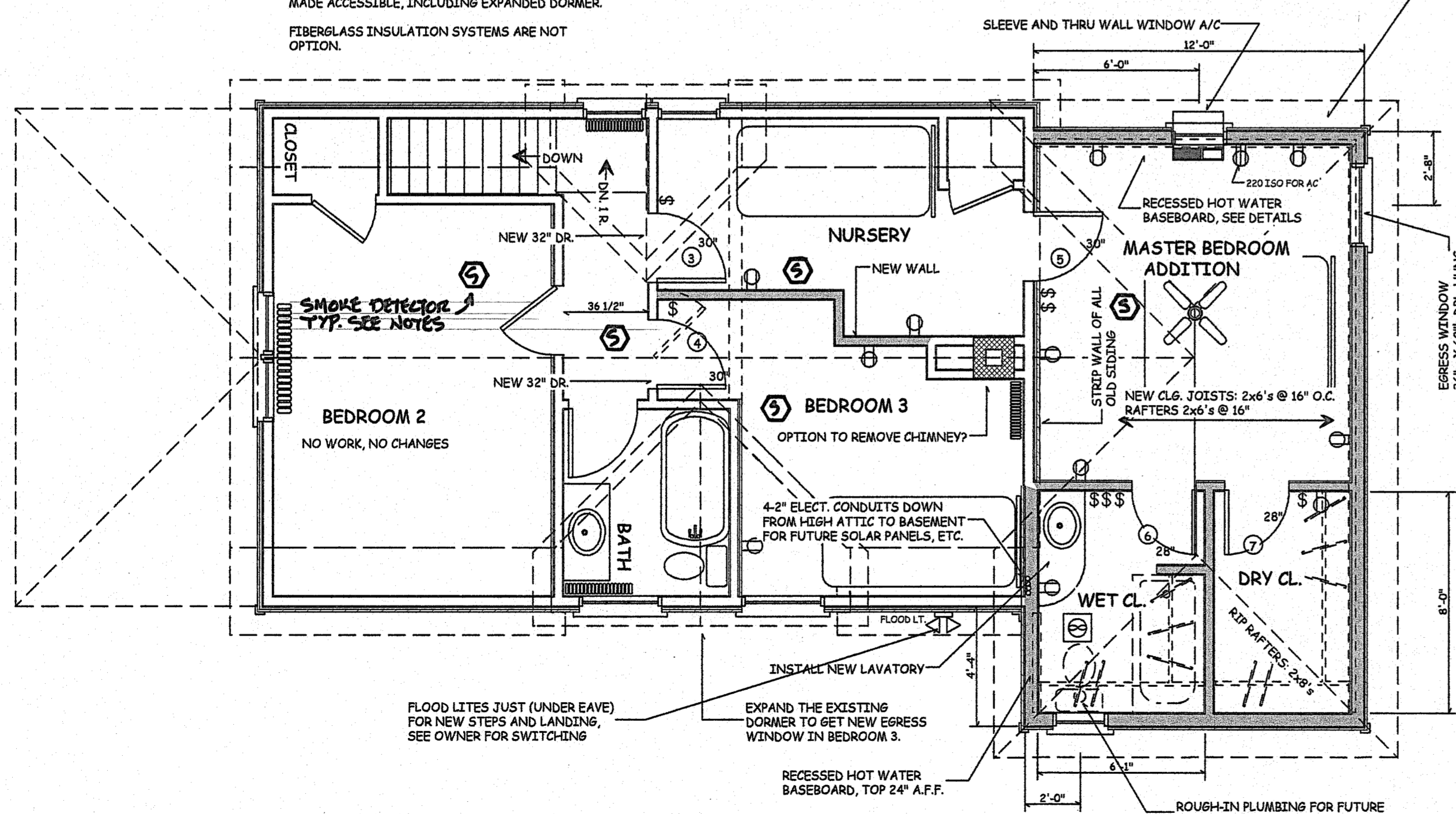
**ENERGY CONSERVATION:**

**BASE BID INSULATION:**

SPRAY 3" CLOSED CELL URETHANE FOAM, R-22/22, IN ALL NEW WALLS AND ROOF RAFTERS, AND SPACES MADE ACCESSIBLE, INCLUDING EXPANDED CORNER. FIBERGLASS INSULATION SYSTEMS ARE NOT OPTION.

SPRAY ON "RADIANT BARRIER" E-BARRIER PAINT BY SHERWIN WILLIAMS. APPLY TO UNDERSIDE OF ALL ROOF SHEATHING, AND INSIDE FACE OF WALL SHEATHING ON ALL SOUTH AND WEST FACING WALLS

SPRAY ON "RADIANT BARRIER" E-BARRIER PAINT BY SHERWIN WILLIAMS. APPLY TO UNDERSIDE OF ALL ROOF SHEATHING, AND INSIDE FACE OF WALL SHEATHING ON ALL SOUTH AND WEST FACING WALLS



**PROPOSED SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"

**CONTRACTOR INSURANCES:**

1. INSURANCE: BEFORE INITIATING ANY WORK AT SITE, CONTRACTOR(S) SHALL PROVIDE PROOF OF INSURANCE, INCLUDING COMMERCIAL GENERAL LIABILITY, WORKMEN'S COMPENSATION AND AUTOMOBILE LIABILITY. MINIMUM LIMITS SHALL BE AS FOLLOWS:

COMMERCIAL GENERAL LIABILITY	GENERAL AGGREGATE	\$ 1,000,000.00
	PRODUCTS - COMP / OF AGGREGATE	\$ 1,000,000.00
	EACH OCCURRENCE	\$ 1,000,000.00
	FIRE DAMAGE (ANY ONE FIRE)	\$ 100,000.00
	MED. EXPENSE (ANY ONE PERSON)	\$ 5,000.00
AUTOMOBILE LIABILITY	SINGLE COMBINED LIMIT	\$ 250,000.00
WORKMAN'S COMPENSATION	STATUTORY LIMITS	
GENERAL "UMBRELLA"		\$ 2,000,000.00

2. OWNER AND ARCHITECT SHALL BE NAMED AS "ADDITIONAL NAMED INSURED" ON CONTRACTOR'S LIABILITY POLICIES. OWNER AND ARCHITECT SHALL BE GIVEN 30 DAYS NOTICE BEFORE ANY POLICIES EXPIRE, AND CERTIFICATES EVIDENCING SUCH COVERAGE AND INCLUSION OF THE OWNER AND ARCHITECT SHALL BE PROVIDED TO BOTH.

**RESIDENTIAL CODES**

1. CODES: ALL WORK SHALL COMPLY WITH THE CONTROLLING REGULATORY CODES. THESE DOCUMENTS (DRAWINGS) SHALL INCLUDE BY REFERENCE ALL STATE, MUNICIPAL AND OTHER REGULATORY CODES.
2. CONTRACTOR(S) SHALL COMMUNICATE WITH THE MUNICIPALITY TO VERIFY REQUIRED TYPES AND FREQUENCY OF INSPECTIONS, AND SHALL SECURE ALL PERMITS, LICENSES, APPROVALS, AND INSPECTIONS REQUIRED DURING THE PROGRESS OF THE WORK.
3. ALL CONTRACTORS AND TRADESMEN ARE EXPECTED TO BE CURRENT WITH THESE CODE AND HAVE COPIES ON SITE FOR REFERENCE AS REQUIRED. TO OBTAIN: INTERNATIONAL CODE COUNCIL, PUBLICATIONS, 4051 WEST FLOSSMOOR ROAD, COUNTRY CLUB HILLS, IL 60478-5795, 888-422-7233.
4. FOR RESIDENTIAL WORK, THE CODES WHICH APPLY ARE:  
INTERNATIONAL RESIDENTIAL CODE, 2009 (MAY REFERENCE OTHER CODES)  
ICC ELECTRICAL CODE, 2009 (UTILIZES NATIONAL ELECTRIC CODE STANDARDS)

**LEAD PAINT RULES APPLY**

1. ALL CONTRACTOR SUPERVISORS SHALL BE TRAINED AND CERTIFIED AS CURRENT WITH ALL LEAD PAINT ABATEMENT AND PROTECTIONS. PROVIDE OWNER WITH CERTIFICATES SO WARRANTING.

**FIELD OFFICE AND SITE DOCUMENTS**

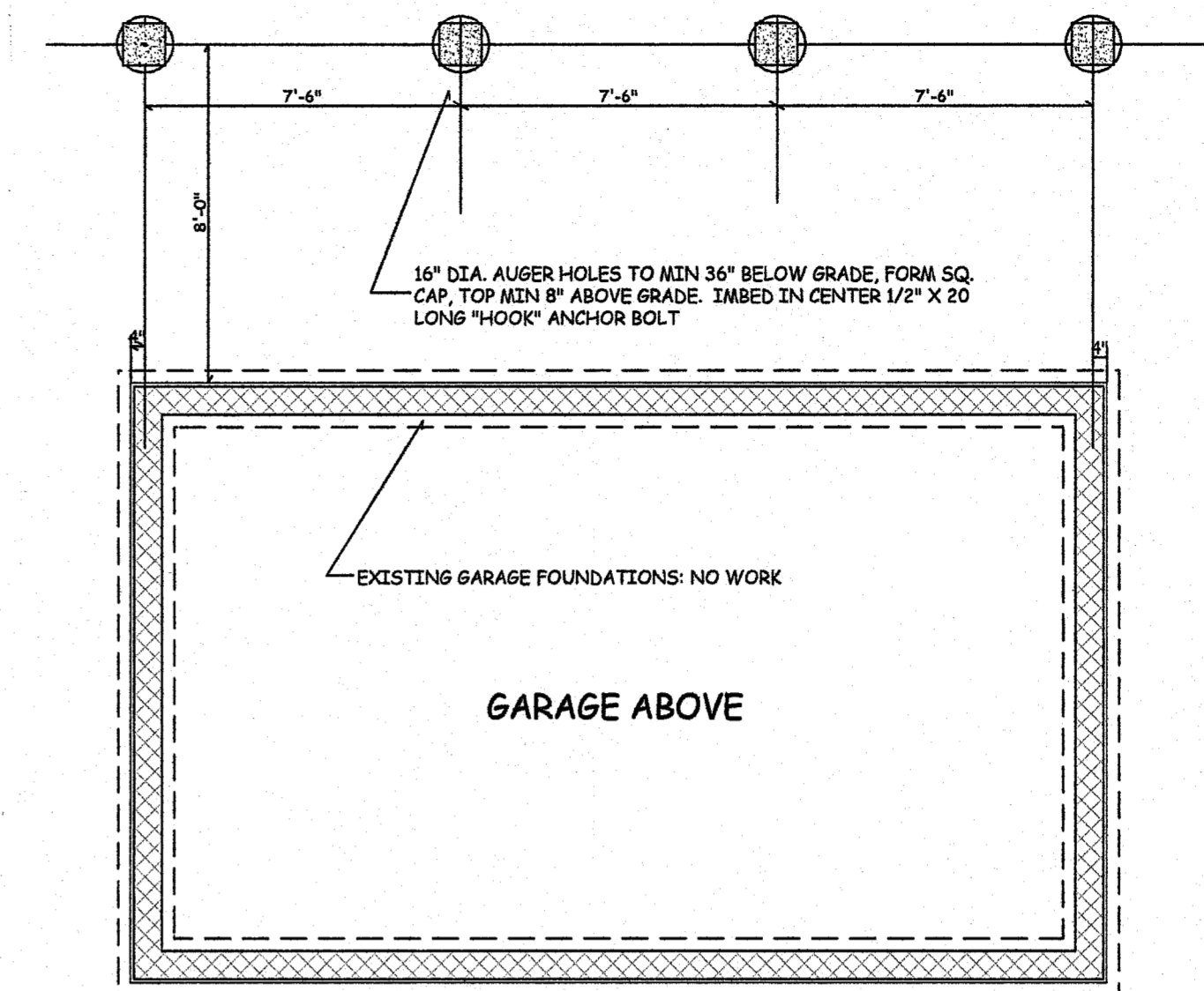
1. WITH INITIATION OF WORK ON SITE, THE CONTRACTOR SHALL MAINTAIN A FIELD OFFICE. THIS MAY BE AS SIMPLE AS A FOOT LOCKER IN THE BEGINNING, BUT AS SOON AS POSSIBLE, THIS SHALL BE AN ENCLOSED SECURE ROOM.
2. WHENEVER THE WORK IS IN PROGRESS THE FIELD OFFICE SHALL BE ACCESSIBLE TO THE OWNER, ARCHITECT, AND TRADESMEN ENGAGED IN THE WORK. THE SITE OFFICE SHALL CONTAIN THE MOST UP TO DATE DOCUMENTS, SUBMITTALS, MATERIAL SELECTIONS, AND SHOP DRAWINGS. KEEP PROJECT DOCUMENTS ORGANIZED, COMPLETE, & CLEAN.
3. AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ONE RECORD SET OF DOCUMENTS WITH ALL AS-BUILT INFORMATION AND CHANGES, MARKED UP IN RED, WHICH SHOW ANY DIFFERENCES FROM THE ORIGINAL DOCUMENTS. AT COMPLETION OF THE WORK, CONTRACTOR SHALL DUPLICATE THE "AS-BUILT" SET AND DISTRIBUTE: 1 SET TO OWNER, 1 SET TO ARCHITECT, 1 SET TO THE GC'S FILE.

**PULL DOWN ATTIC STAIRS**

1. PULL DOWN STAIRS MUST HAVE THE SAME INSULATION RATING AS THE INSULATION "LAYER" THE UNIT IS INSTALLED WITHIN. THUS, IF THE SECOND FLOOR CEILING IS INSULATED TO R-38 THEN STAIR UNIT MUST HAVE SAME RATING. ALL INSULATED UNITS MUST HAVE GASKET AIR SEALS.

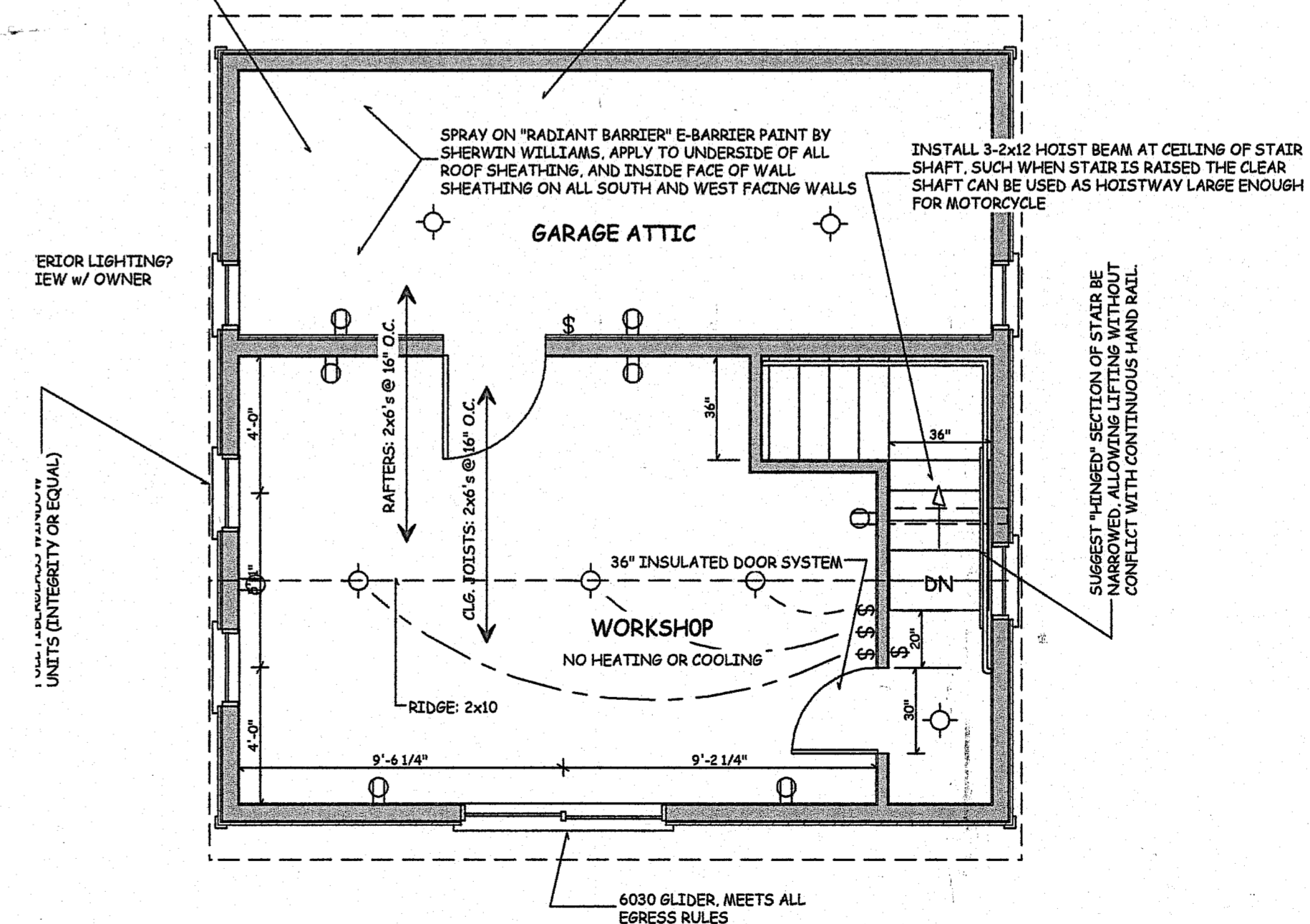
**CAULKING**

1. PERMITTED MATERIALS: ALL EXTERIOR CAULKING SHALL BE TWO-PART POLYURETHANE COMPONENT BASED. NO SILICONE CAULKS ARE PERMITTED UNLESS THE APPLICATION IS FOR A "GLASS TO GLASS" ADHESIVE. ALL CAULKS USED IN PREPARATION FOR INTERIOR PAINTING SHALL BE POLYURETHANE OR LATEX, WITH NO SILICONES.
2. WHERE TO APPLY: CAULKING SHALL BE PROVIDED:
  - A. BETWEEN ALL EXTERIOR DISSIMILAR MATERIALS WHERE A MECHANICAL CONNECTION DOES NOT MAKE A WATER/TIGHT SEAL.
  - B. AROUND THE PERIMETERS OF ALL DOORS AND WINDOWS BETWEEN SURROUNDING FINISH SURFACES.



**PROPOSED GARAGE FOUNDATIONS**

INSULATION: SECOND FLOOR ONLY ENCLOSE THE ENTIRE SECOND FLOOR, INCLUDING WORKSHOP AND GARAGE ATTIC, LIKE A "FOAM COOLER".  
R-20, URETHANE SPRAY FOAM INSULATION FOR ENTIRE PERIMETER, SAME ON THE UNDERSIDE OF ROOF RAFTERS (UNVENTED ATTIC CODE RULES APPLY). FOAM THE UNDERSIDE OF THE FLOOR DECK, FOAM THE WALL SEPARATING THE STAIR WELL, AND THE WALL SEPARATING THE ATTIC.  
DRYWALL WORK: ALL WALLS, PARTITIONS, AND FLOORS CONTAINING FOAM INSULATION SHALL BE COVERED WITH 1/2" 6\"/>



**PROPOSED GARAGE 2nd FLOOR PLAN**

SCALE 1/4" = 1'-0"

#	DESCRIPTION
1	SITE PLANS
2	EXISTING FLOOR PLANS
3	FIRST FLOOR PLAN & EXTERIOR
4	PLANS: SECOND FL. & GARAGE
5	CONSTRUCTION WALL SECTION & NOTES
6	NOTES & SPECIFICATIONS

DATE	REVISION DESCRIPTION
JULY 19, 2010	
OCT. 15, 2010	

PLANS NOT VALID FOR PERMITS UNLESS SIGNED IN "RED" & IMPRESSED w/ SEAL

**Creative Design Associates, Inc.**  
ARCHITECTURE INTERIORS SITE & SPACE PLANNING  
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