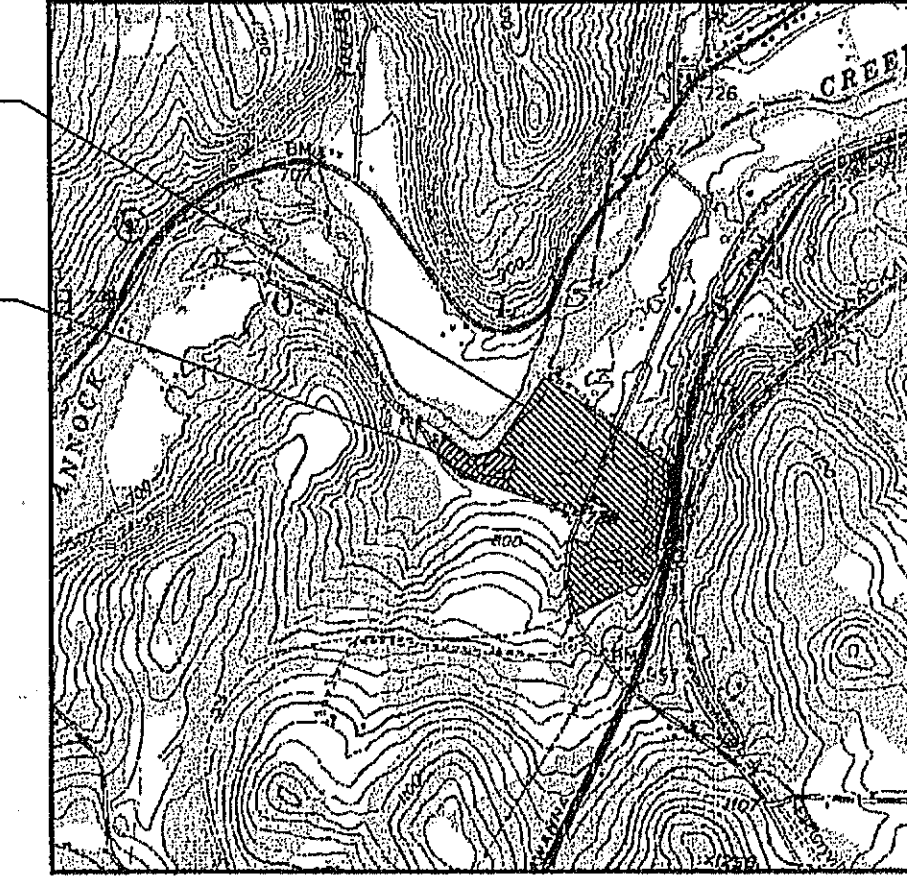


N/F LANDS OF Cannon
DB 156, Pg. 254
Tax ID # 79.0-49.0

Bearing Base:
East PL of Franko (LOT 1)
DB 162, Pg. 654
Tax ID # 79.0-50.0

Location Map
Scale: 1" = 2000'

Site Location
(Parent Tract)



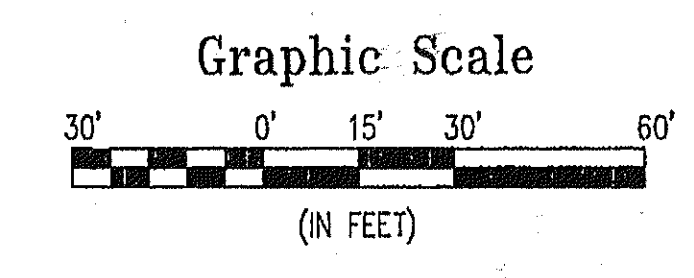
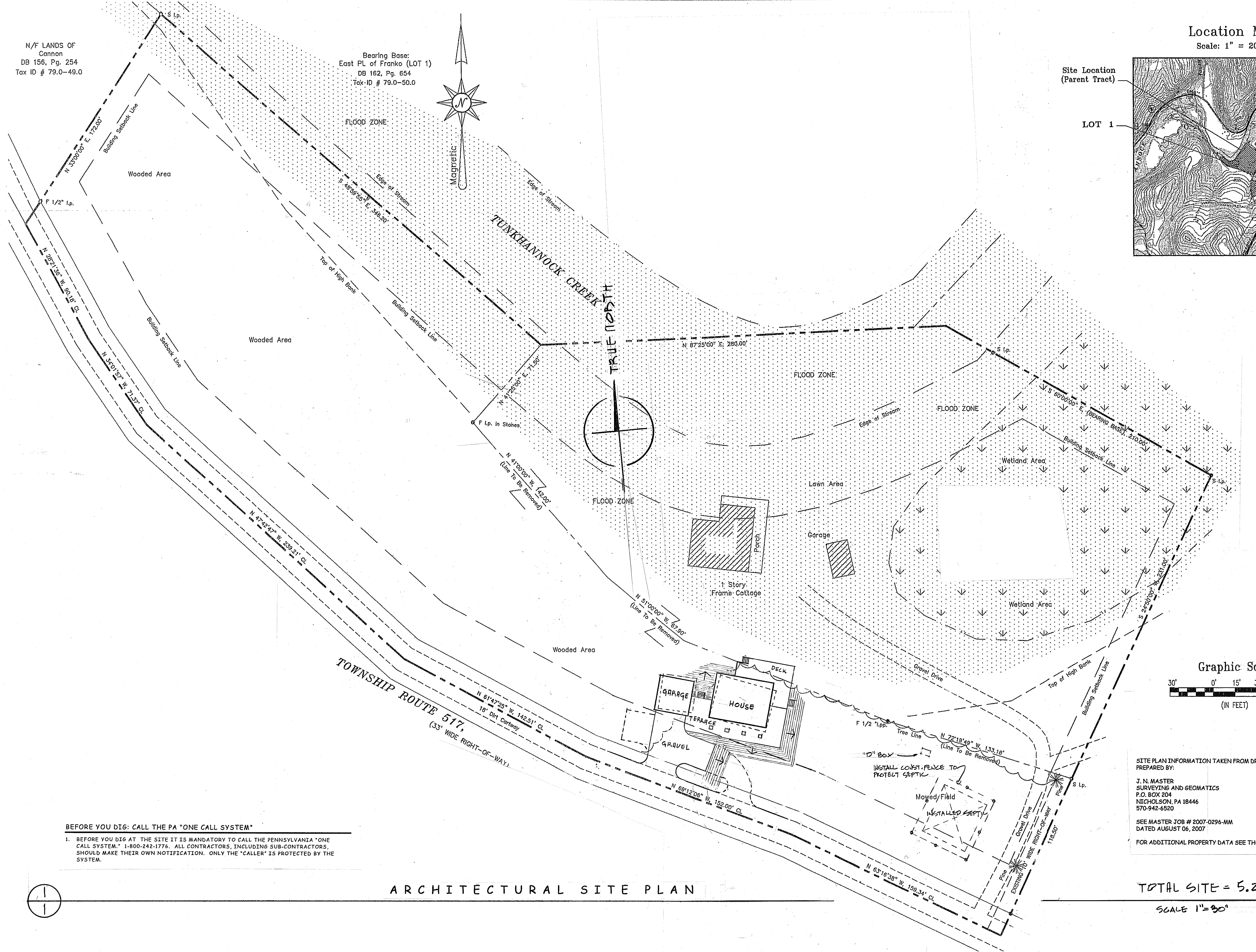
REV. #	REVISION DESCRIPTION	DATE
1	PRELIMINARY	FEB. 09, 2011
2	ESTIMATING & TRADE INPUT	NOV. 16, 2011
3	PERMIT SUBMISSION	DEC. 16, 2011
4	REVISED PERMITTING	FEB. 09, 2012
5	REVISED PERMITTING	FEB. 20, 2012
6	REVISED PERMITTING	JULY 12, 2012

ONLY VALID FOR PERMITS w/
EMBOSSED SEAL & ORIGINAL
"RED" SIGNATURE

HOUSE & GARAGE ARE
BOTH PRESENTED IN
THIS SET OF
DRAWINGS.
HOWEVER WILL BE
SEPARATE PROJECTS.

Eric C. Van Reed, Architect
Creative Design Associates, Inc.
ARCHITECTURE INTERIORS SITE & SPACE PLANNING
Voice: 215-972-1155
www.Architectpa.com
350 Callowhill Road
Chadds Ford, PA 19074

ARCHITECTURAL SITE PLAN
NEW PRIVATE RESIDENCE
TAMARACK ROAD
NICHOLSON TWP, WYOMING CO., PENNSYLVANIA
DEED BOOK 162, PAGE 654, TAX ID # 79.0-50.0, 5.228 ACRES



SITE PLAN INFORMATION TAKEN FROM DRAWINGS AND SURVEY
PREPARED BY:
J. N. MASTER
SURVEYING AND GEOMATICS
P.O. BOX 204
NICHOLSON, PA 18446
570-942-6520
SEE MASTER JOB # 2007-0296-MM
DATED AUGUST 06, 2007
FOR ADDITIONAL PROPERTY DATA SEE THOSE DRAWINGS.

TOTAL SITE = 5.228 ACRES
SCALE 1" = 30'

BEFORE YOU DIG: CALL THE PA "ONE CALL SYSTEM"
1. BEFORE YOU DIG AT THE SITE IT IS MANDATORY TO CALL THE PENNSYLVANIA "ONE CALL SYSTEM," 1-800-242-1776. ALL CONTRACTORS, INCLUDING SUB-CONTRACTORS, SHOULD MAKE THEIR OWN NOTIFICATION. ONLY THE "CALLER" IS PROTECTED BY THE SYSTEM.

ARCHITECTURAL SITE PLAN