

**GOAL OF THIS PROJECT:**

1. "REPAIR IN KIND" FROM FIRE DAMAGE TO APARTMENT UNITS. WORK TO MATCH THE "STANDARD" ESTABLISHED WITHIN THE COMPLEX. REPAIR THE STRUCTURE AS REQUIRED TO MAKE SAFE.
2. IN THIS PROJECT, THERE IS NO CHANGE OF USE OR OCCUPANCY, JUST RESTORATION.

**2009 INTERNATIONAL EXISTING BUILDING CODE**

IN GENERAL, THE EXISTING BUILDING CODE SAYS: "WHATEVER YOU BUILD NEW, AND/OR WHAT EVER IS SIGNIFICANTLY CHANGED, AND WHERE EVER THERE IS A CHANGE OF OCCUPANCY (USE GROUP), THEN ALL NEW AND REPAIR WORK WILL COMPLY WITH THE FUNDAMENTAL INTERNATIONAL BUILDING CODE." THERE ARE SOME "EXCEPTIONS."

RELIEF FROM INCREASED STRUCTURAL DESIGN LOADS AND SEISMIC:

RELIEF FROM SOME PARTS OF THE ENERGY CODE

RELIEF FROM SOME REQUIREMENTS FOR "ACCESSIBILITY."

|           | 2009 INTERNATIONAL EXISTING BUILDING CODE                                                                                                                                                                                                        |
|-----------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SEC 402   | REPAIRS: INCLUDE THE PATCHING OR RESTORATION OR REPLACEMENT OF DAMAGED MATERIALS, ELEMENT, EQUIPMENT OR FIXTURES FOR THE PURPOSE OF MAINTAINING SUCH COMPONENTS IN SOUND CONDITION ...<br>ALTERATION IS ANY CONSTRUCTION OTHER THAN AN ADDITION. |
| SEC 302.3 | NON STRUCTURAL ALTERATIONS MAY BE MADE OF THE SAME MATERIALS AS ARE EXISTING IN THE BUILDING, PROVIDED THEY DO NOT REDUCE THE STRUCTURAL OR FIRE RESISTANT RATING OF ANY PART OF THE STRUCTURE.                                                  |
| SEC. 604  | REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.                                                                                                                                       |
| SEC. 605  | ACCESSIBILITY: EXCEPTION 2. AN ACCESSIBLE MEANS OF EGRESS AS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS AND FACILITIES.                                                                             |

**USE & OCCUPANCY GROUPS: 2009 INTERNATIONAL BUILDING CODE**

|          | 2009 INTERNATIONAL BUILDING CODE                                                                                                                                                                                                                   |
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| SEC 310  | R-2 APARTMENTS, MORE THAN 2 DWELLING UNITS PER BLDG.                                                                                                                                                                                               |
| SEC 420  | VERTICAL SEPARATIONS: WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS "FIRE PARTITIONS" PER 709.<br>HORIZONTAL SEPARATIONS: FLOOR CEILING ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE PER 712. |
| SEC 503  | TABLE 503: BUILDING HEIGHT AND AREA LIMITATIONS:<br>COMPLY WITH CONSTRUCTION TYPE 5B<br>FOR USE R-2, TYPE 5B - ALLOWS 2 STORIES AND 7,000 SQ. FT. PER FLOOR.                                                                                       |
| SEC 709  | VERTICAL SEPARATIONS BETWEEN UNITS SHALL BE 1-HOUR. EXISTING CONSTRUCTION QUALIFIES, REPAIR AND REPLICATE AS REQUIRED.                                                                                                                             |
| SEC 712  | HORIZONTAL SEPARATIONS SHALL BE 1-HOUR BETWEEN UNITS. EXISTING BUILDING, NO HORIZONTAL SEPARATIONS EXIST, OR WILL BE REPLACED.                                                                                                                     |
| SEC 1301 | ENERGY EFFICIENCY: SEE THE INTERNATIONAL ENERGY CONSERVATION CODE FOR REQUIREMENTS. DO THE BEST POSSIBLE WITHIN EXISTING STRUCTURAL THICKNESSES                                                                                                    |

**GENERAL SCOPE OF WORK**

THIS PROJECT IS TO "REPAIR AND REPLACE 'IN KIND'" THOSE ELEMENTS DAMAGED BY FIRE EVENT.

DEMOLITIONS: FIRST FLOOR (UNIT 181): REMOVE ALL DRYWALL ON ALL SURFACES, WALLS AND CEILING. THIS ALLOWS DETAIL INSPECTION OF STRUCTURE, AND ALLOWS ALL NEW PLUMBING, HVAC, ELECTRICAL AND ALARM WORK.  
DEMOLITIONS: SECOND FLOOR (UNIT 180): REMOVE ALL DRYWALL ON CEILING ONLY. THIS ALLOWS DETAIL INSPECTION OF ROOF TRUSSES, AND ALLOWS REPLACEMENT OF CEILING INSULATION AND CEILING DRYWALL. ALLOWS REPAIR OF HVAC DUCTWORK AND PLUMBING STACKS. NEW CEILING ELECTRICAL AND ALARM WORK.

STRUCTURAL: A BENEFIT OF TIMBER IS THE ABILITY TO RESIST FAILURE DURING FIRE. VISUAL "TESTS" AND ACTIONS:

1. REINFORCE EXISTING: OBSERVE "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS LESS THAN 25%. THEN "SISTER" AN EQUIVALENT TIMBER TO IT. SET TIMBER DECK SCREWS AT 8" O.C., STAGGERED TOP AND BOTTOM.
2. REPLACE EXISTING: COMPONENTS SHOWING "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS IN EXCESS OF 25%. REPLACE TIMBER COMPLETELY FROM BEARING TO BEARING.

REMOVE AND REPLACE ALL DOORS AND WINDOWS DAMAGED.

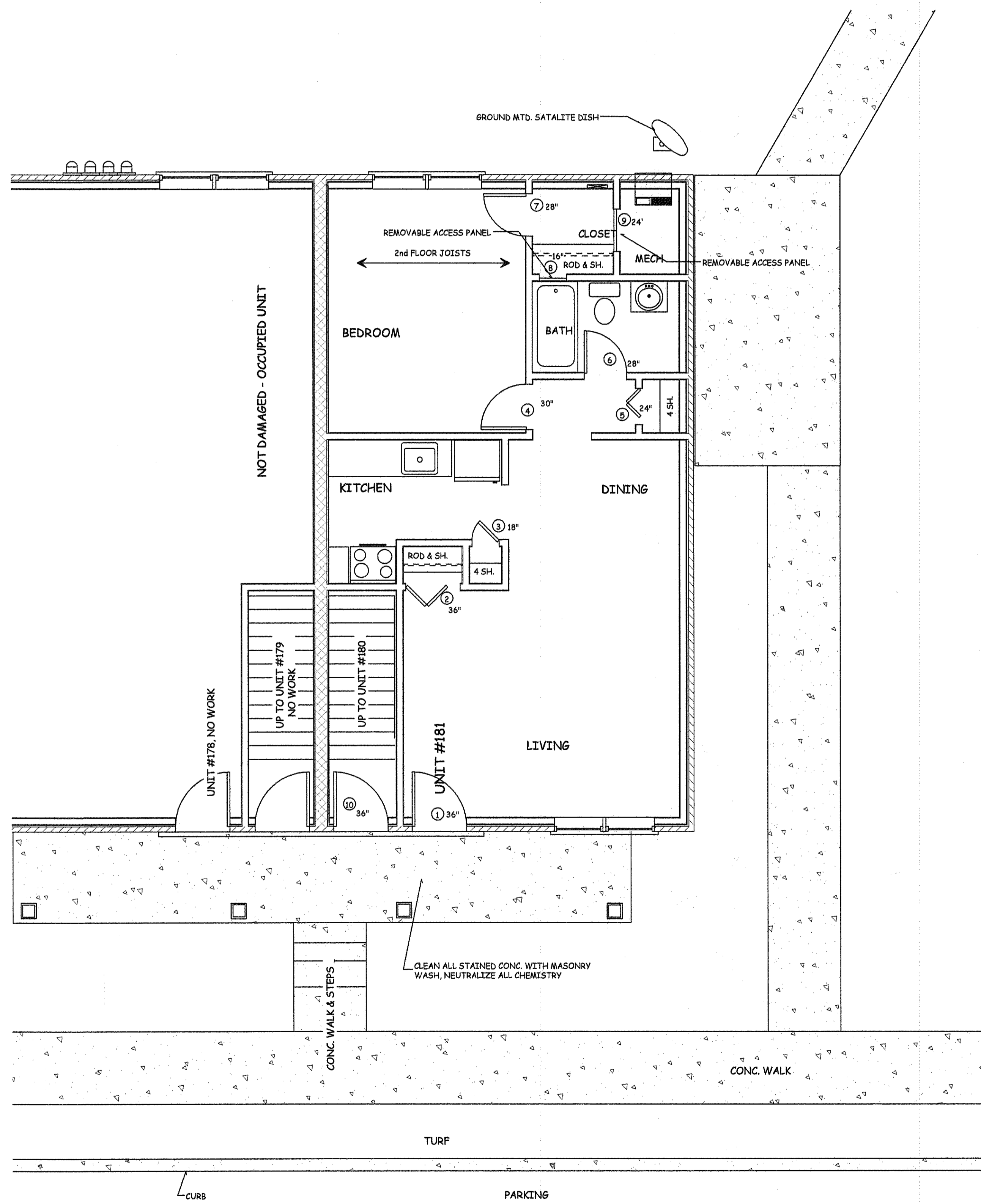
SPECIFICATIONS AND MATERIAL QUALITY: SEE THE SCOPE AND QUALITY OF THE 8 UNITS, AND OTHERS IN THIS APARTMENT COMPLEX. "MATCH" THE STANDARD OF QUALITY "OBSERVABLE"

PLUMBING, HVAC, & ELECTRICAL: SEE OTHER PERMIT APPLICATIONS

REPLACE ALL THE EXISTING SMOKE DETECTION SYSTEM EQUIPMENT. UPDATE TO CURRENT CODE. INSTALLER TO PROVIDE DETAILS AS REQUIRED.



SITE & LOCATION PLAN



FIRST FLOOR PLAN

| REV. # | REVISION DESCRIPTION      | DATE          |
|--------|---------------------------|---------------|
|        | PROJECT START UP @ SITE   | SEPT 21, 2011 |
|        | INITIAL PERMIT SUBMISSION | OCT. 3, 2011  |

PLANS NOT VALID FOR PERMITS UNLESS SIGNED IN "RED" & IMPRESSED w/ SEAL

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**FIRE RESTORATION**  
BELLMAWR MANOR: BLDG. # 9:  
STACKED UNITS: 180 ABOVE 181  
Borough of Bellmawr, Camden County, NJ

Sheet No.  
**1**  
Comm. No. 11-2934 of 3

SCALE 1/4" = 1'-0"