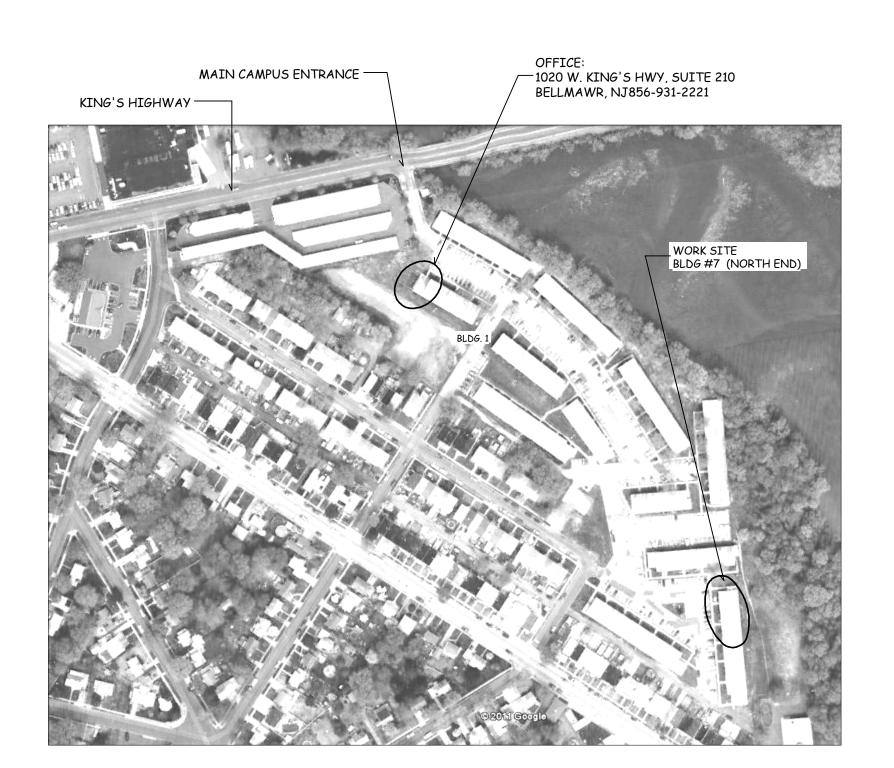
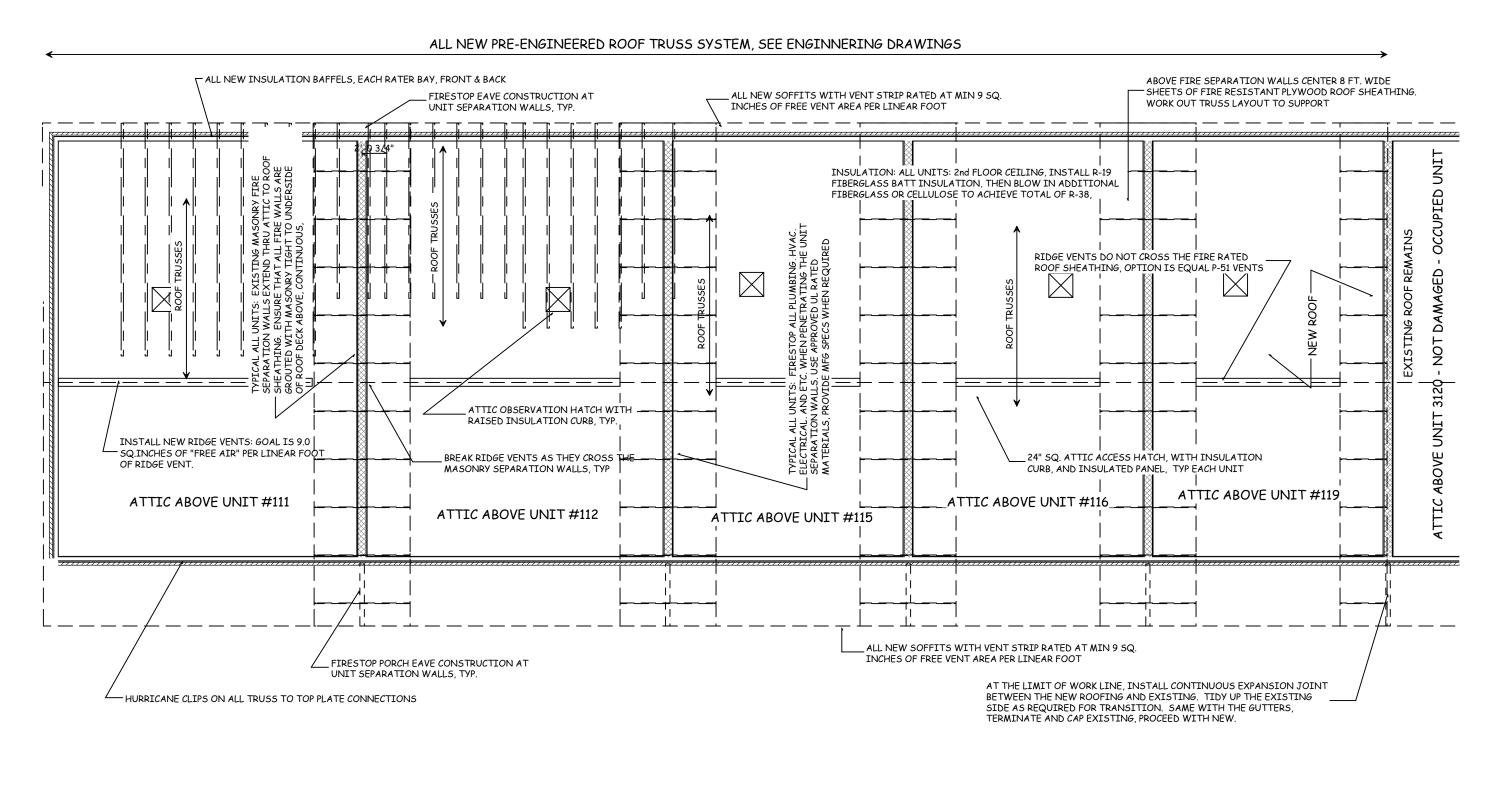
1. "REPAIR IN KIND" FROM FIRE DAMAGE TO APARTMENT UNITS. WORK TO MATCH THE "STANDARD" ESTABLISHED WITHIN THE COMPLEX. REPAIR THE STRUCTURE AS REQUIRED TO MAKE SAFE. 2. IN THIS PROJECT, THERE IS NO CHANGE OF USE OR OCCUPANCY, JUST RESTORATION. 2009 INTERNATIONAL EXISTING BUILDING CODE IN GENERAL, THE EXISTING BUILDING CODE SAYS: WHATEVER YOU BUILD NEW, AND/OR WHAT EVER IS SIGNIFICANTLY CHANGED, AND WHERE EVER THERE IS A CHANGE OF OCCUPANCY (USE GROUP), THEN ALL NEW AND REPAIR WORK WILL COMPLY WITH THE FUNDAMENTAL "INTERNATIONAL BUILDING CODE," THERE ARE SOME "EXCEPTIONS." RELIEF FROM INCREASED STRUCTURAL DESIGN LOADS AND SEISMIC; RELIEF FROM SOME PARTS OF THE ENERGY CODE RELIEF FROM SOME REQUIREMENTS FOR "ACCESSIBILITY." 2009 INTERNATIONAL EXISTING BUILDING CODE REPAIRS: INCLUDE THE PATCHING OR RESTORATION OR REPLACEMENT OF DAMAGED MATERIALS, ELEMENT, EQUIPMENT OR FIXTURES FOR THE PURPOSE OF MAINTAINING SUCH COMPONENTS IN SOUND CONDITION ... ALTERATION IS ANY CONSTRUCTION OTHER THAN AN ADDITION. NON STRUCTURAL ALTERATIONS MAY BE MADE OF THE SAME MATERIALS AS ARE EXISTING IN THE BUILDING, PROVIDED THEY DO NOT REDUCE THE STRUCTURAL OR FIRE RESISTANT RATING OF ANY PART OF THE STRUCTURE. REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS. ACCESSIBILITY: EXCEPTION 2. AN ACCESSIBLE MEANS OF EGRESS AS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS USE & OCCUPANCY GROUPS: 2009 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL BUILDING CODE R-2 APARTMENTS, MORE THAN 2 DWELLING UNITS PER BLDG. SEC 310 VERTICAL SEPARATIONS: WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS "FIRE PARTITIONS" PER 709. HORIZONTAL SEPARATIONS: FLOOR CEILING ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE PER 712. TABLE 503: BUILDING HEIGHT AND AREA LIMITATIONS: COMPLY WITH CONSTRUCTION TYPE 5B FOR USE R-2, TYPE 5B - ALLOWS 2 STORIES AND 7,000 SQ.FT. PER FLOOR. VERTICAL SEPARATIONS BETWEEN UNITS SHALL BE 1-HOUR. EXISTING CONSTRUCTION QUALIFIES, REPAIR AND REPLICATE AS REQUIRED. HORIZONTAL SEPARATIONS SHALL BE 1-HOUR BETWEEN UNITS. EXISTING BUILDING, NO HORIZONTAL SEPARATIONS EXIST, OR WILL BE REPLACED. ENERGY EFFICIENCY: SEE THE INTERNATIONAL ENERGY CONSERVATION CODE FOR REQUIREMENTS. DO THE BEST POSSIBLE WITHIN EXISTING STRUCTURAL THICKNESSES

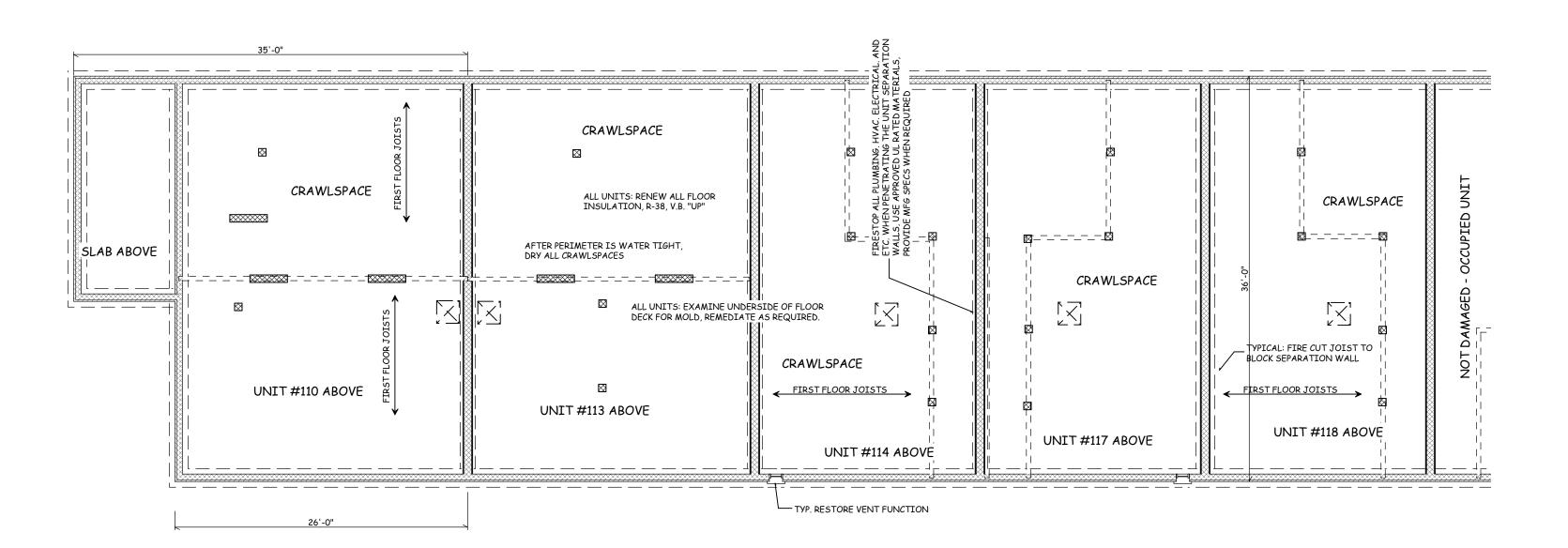
CODE NOTES



SITE & LOCATION PLAN



ATTIC PLAN



FOUNDATION & CRAWL SPACE PLAN

PLANS NOT VALID FOR PERMITS UNLESS SIGNED IN "<u>RED</u>" & <u>IMPRESSED</u> w/ SEAL

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BUILDING SYSTEMS "TRADE" DESIGN-BUILD PROCEDURE

INSPECTOR(S) IS ADVISED.

FOR SMALL ALTERATION OR RENOVATION PROJECTS, IT IS SIMPLY NOT COST EFFECTIVE FOR THE OWNER TO ENGAGE PROFESSIONAL ARCHITECTS OR ENGINEERS TO DESIGN AND DOCUMENT THE TRADE PERMIT WORK, SUCH AS PLUMBING, SPRINKLER SYSTEMS, HVAC, ELECTRICAL, AND ALARM SYSTEMS.

IN GENERAL THE ARCHITECTURAL DRAWINGS WILL LOCATE MAJOR EQUIPMENT, AND WHERE APPROPRIATE IDENTIFY SPECIAL NEEDS AND CONDITIONS.

THE PERTINENT CODES AND TRADE STANDARDS, INCLUDING ENERGY CONSERVATION AND HANDICAPPED ACCESSIBILITY, SET FORTH THE REQUIREMENTS AND BEST PRACTICES WHICH APPLY. EACH TRADE, OR LIFE-SAFTEY SYSTEM GENERALLY REQUIRES MUNICIPALLY INSPECTION AND TESTING, RESULTING IN A CERTIFICATION OF THE SYSTEM.

TRADE CONTRACTORS RELATIONSHIPS WITH MANUFACTURES GIVES THEM ACCESS TO PRACTICAL ENGINEERING INPUT AND CALCULATIONS. IN ADDITION, THE INSTALLER'S WARRANTY PROVIDES PROTECTIONS TO THE OWNER. PROCESS

THE OWNER, OR DELEGATED PROJECT MANAGER (PM), SHALL IDENTIFY CONTRACTORS PROVEN COMPETENT FOR THE SCALE AND USES INTENDED. SELECTED CONTRACTORS SHALL OBTAIN ALL THE DOCUMENTATION AVAILABLE, CONTRACTORS ARE REQUIRED TO MAKE FIFLD VERIFICATIONS FOR A FULL UNDERSTANDING OF THE PROJECT

CONTRACTORS SHALL OFFER A PRICE PROPODAL. PROPOSAL SHALL INCLUDE A LIST OF REFERENCES FOR SIMILAR WORK. PROPOSAL SHALL A INCLUDE GENERAL DESCRIPTION OF THE MAJOR SYSTEM COMPONENTS TO BE OFFERED INCLUDING EQUIPMENT RATINGS.

DO NOT MAKE ASSUMPTIONS, IT IS EXPECTED THE CONTRACTOR WILL COORDINATE WITH THE MUNICIPALITY FOR INSPECTION PROCEDURES, TESTING AND SUBMITTAL REQUIREMENTS. MAKING INTRODUCTIONS WITH THE APPROPRIATE DO NOT MAKE ASSUMPTIONS, IT IS EXPECTED THE CONTRACTOR WILL COORDINATE WITH THE MUNICIPALITY FOR INSPECTION PROCEDURES, TESTING AND SUBMITTAL REQUIREMENTS. MAKING INTRODUCTIONS WITH THE APPROPRIATE

PROJECT MANAGER SHALL INTERVIEW CONTRACTORS, CHECK REFERENCES, AND SELECT THE CANDIDATE WHO BEST FITS

THE SELECTED CONTRACTOR SHALL PRESENT A CONTRACT FOR SERVICES. INDENTIFIED IN THE PROPOSAL SCHEDULE OF VALUES SHALL BE AN INITIAL PAYMENT SUFFICIENT TO COMPENSATE THE CONTRACTOR FOR PREPARATION OF THE TRADE

PERMIT APPLICATION AND SHOP DRAWINGS PREPARATION. ALL PERMIT APPLICATION DOCUMENTATION BECOMES THE PROPERTY OF THE OWNER. SHOP DRAWINGS DO NOT HAVE TO BE COMPLICATED, AND CAN BE AS SIMPLE AS SINGLE LINE SCHEMATICS, CATALOG CUTS, MANUFACTURES DATA, ETC. AS REQUIRED TO ILLUMINATE THE INSTALLATION PROPOSED. TO ASSIST THE WORK

SHOP DRAWINGS ALSO SERVE TO SUBSTANTIATE THE CONTRACTORS PROPOSAL. INFORMATION SHALL BE REVIEWED.

REQUIRED FOR THE "TRADE PERMITS", THE ARCHITECT'S DRAWINGS MAY BE USED AS BACKGROUNDS BY THE TRADE

TRADE CONTRACTOR SHALL THEN COMPLETE HIS PORTION OF THE PROJECT'S PERMIT PROCESS.

VALUE ENGINEERED AS APPROPRIATE, FINALIZING THE TRADE CONTRACT NEGOTIATIONS.

NOTE: "PERMITTING" HAS BECOME A MULTI-PART PROCESS. THERE MAY BE SEPARATE REVIEW REQUIREMENTS AND FORMS FOR: A) HANDICAPPED ACCESSIBILITY (WHEN REQUIRED); B) BUILDING STRUCTURAL DESIGN AND COMPONENTS; C) ENERGY CONSÉRVATION; D) PLUMBING; E) SPRINKLERS; F) HEATING VENTILATING AND AIR-CONDITIONING; F) ELECTRICAL; AND G)

PM SHALL COORDINATE.

CASEWORK: KITCHENS & BATHS

REPAIR OR REPLACE WITH SIMILAR QUALITY AND SCOPE AS EXISTING.

CONTRACTORS SHALL VISIT SITE AND QUANTIFY SCOPE OF WORK.

PREPARE SUBMITTAL FOR OWNER'S REVIEW AND APPROVAL. ITEMIZE WORK ON A UNIT BY UNIT BASIS

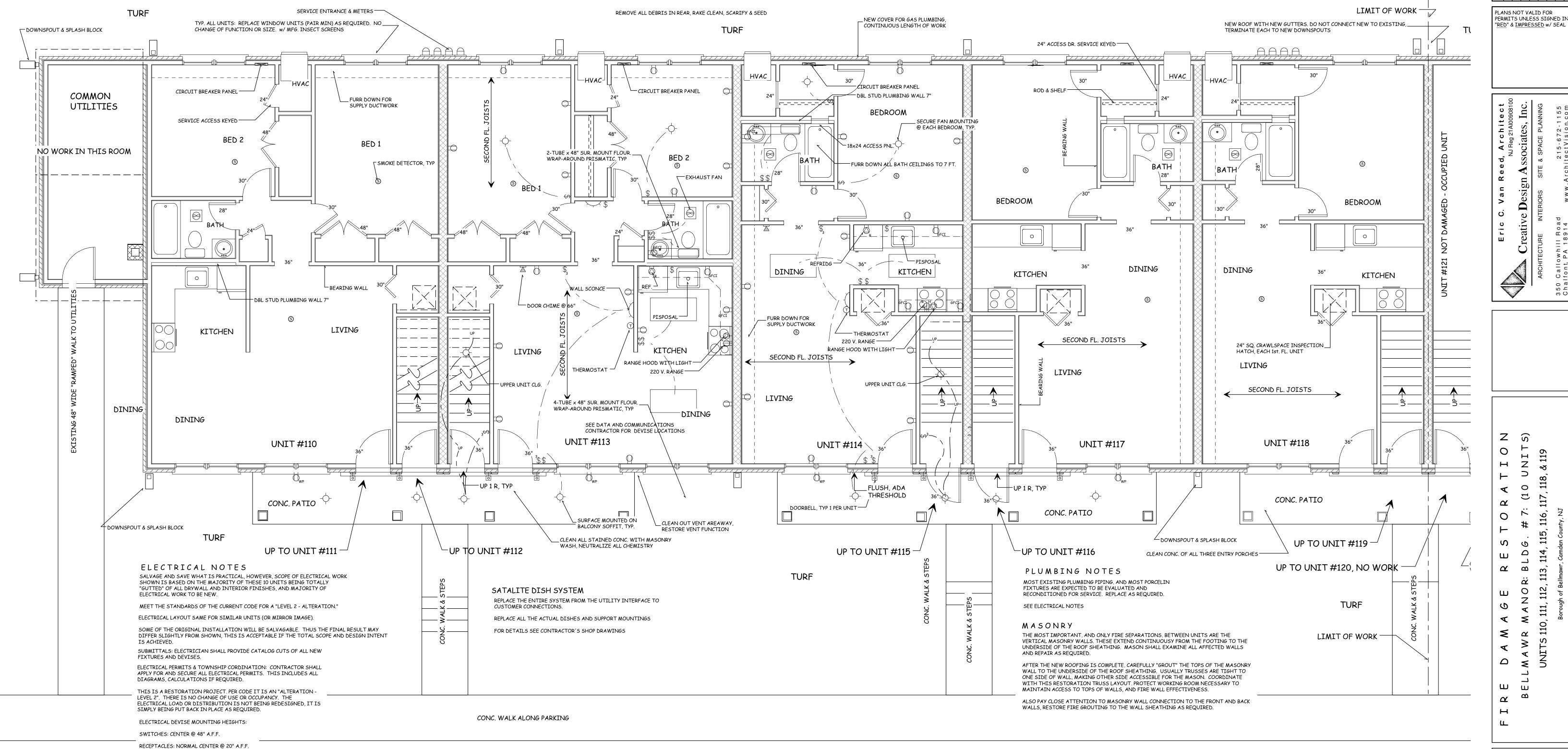
DOORS & HARDWARE

REPAIR OR REPLACE WITH SIMILAR QUALITY AND SCOPE AS EXISTING.

CONTRACTORS SHALL VISIT SITE AND QUANTIFY SCOPE OF WORK.

PREPARE SUBMITTAL FOR OWNER'S REVIEW AND APPROVAL. ITEMIZE WORK ON A UNIT BY UNIT BASIS IF REPLACING DOOR HARDWARE, INSTALL ADA APPROVED UNITS FOR MULTI-FAMILY RESIDENTIAL

PLANS NOT VALID FOR



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FIRST FLOOR PLAN

— ASPHALT PARKING LOT ———

RECEPT ABOVE COUNTERS CENTER @ 44" A.F.F.

3-WAY SWITCHING FOR STAIRS

ELECTRICAL LAYOUT SAME FOR 4 UNITS, EXCEPT SECOND FLOOR UNITS HAVE ADDITIONAL

GENERAL SCOPE OF WORK

BUILDING CODE PROJECT DEFINITION: THIS IS AN "ALTERATION - LEVEL 2" THIS PROJECT IS TO "REPAIR AND REPLACE 'IN KIND' THOSE ELEMENTS DAMAGED BY A FIRE EVENT, TO A STANDARD ENSURING THAT THE REPAIRS RETURN THE UNIT BACK TO FULL USE AND OCCUPANCY IN A CONDITION NO LESS SAFE THAN THE STANDARD TO WHICH IT WAS ORIGNALLY

DEMOLITIONS: PREP ALL UNITS FOR RECONSTRUCTION BY REMOVING ALL DRYWALL FROM ALL WALLS AND CEILINGS, ALLOWING DETAILED VISUAL INSPECTION OF STUCTURE, AND ALLOWS THE REPAIR OF EXISTING SYSTEMS AND INTERCONNECTION OF NEW WORK WITH

STRUCTURAL: A BENEFIT OF TIMBER IS THE ABILITY TO RESIST FAILURE DURING FIRE.

VISUAL "TESTS" AND ACTIONS:

1. REINFORCE EXISTING: OBSERVE "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS LESS THAN 25%, THEN "SISTER" AN EQUIVALENT TIMBER TO IT. SET TIMBER DECK SCREWS AT 8" O.C., STAGGERED TOP AND BOTTOM.

2. REPLACE EXISTING: COMPONENTS SHOWING "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS IN EXCESS OF OF 25%. REPLACE TIMBER COMPLETELY FROM BEARING TO

REMOVE AND REPLACE ALL DOORS AND WINDOWS DAMAGED.

NEW TO CURRENT CODES. SEE OTHER PERMIT APPLICATIONS

EACH CONTRACTOR SHALL VISIT SITE TO BE FULLY AWARE OF EXISTING CONDITIONS AND TO SURVEY THE QUALITY AND SCOPE OF WORK TO BE RESTORED.

SPECIFICATIONS AND MATERIAL QUALITY: ALL TRADES, SEE THE SCOPE AND QUALITY OF MATERIALS IN THE EXISTING. THIS IS A CAMPUS OF MANY UNITS AND BUILDINGS, ALL MAINTAINED TO A "STANDARD" VISUALLY ACCESSIBLE. THE BASIC STANDARD IS TO REPAIR THESE UNITS TO THE STANDARD BEFORE THE FIRE INCIDENT, OR TO REPACE WITH NEW PRODUCTS SIMILAR TO THE EXISTING IN SCOPE AND QUALITY. IN SUMMARY: "MATCH" THE STANDARD OF QUALITY "OBSERVABLE"

PLUMBING, HVAC, & ELECTRICAL: SEE OTHER PERMIT APPLICATIONS ALARMS: REPLACE ALL THE EXISTING SMOKE DETECTION SYSTEM EQUIPMENT WITH

PREFABRICATED WOOD TRUSS SYSTEM

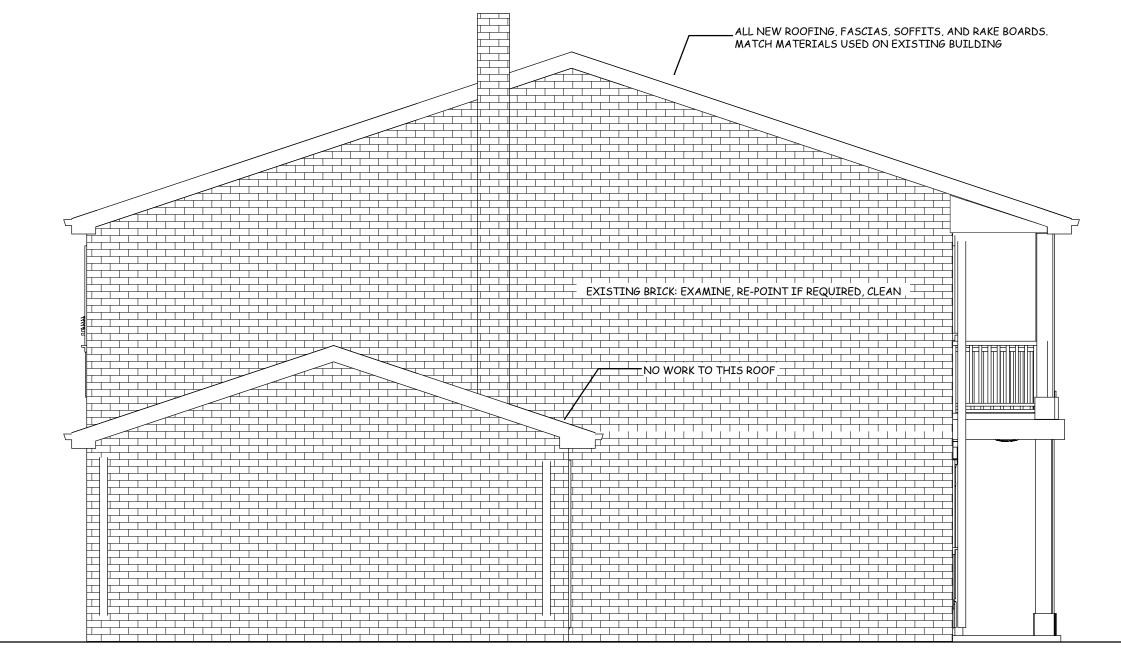
STANDARD: SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES PUBLISHED BY TRUSS PLATE INSTITUTE (TPI). QUALITY CONTROL MANUAL PUBLISHED BY TPI. WOOD STRUCTURAL DESIGN STANDARD: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY N.F.P.A.

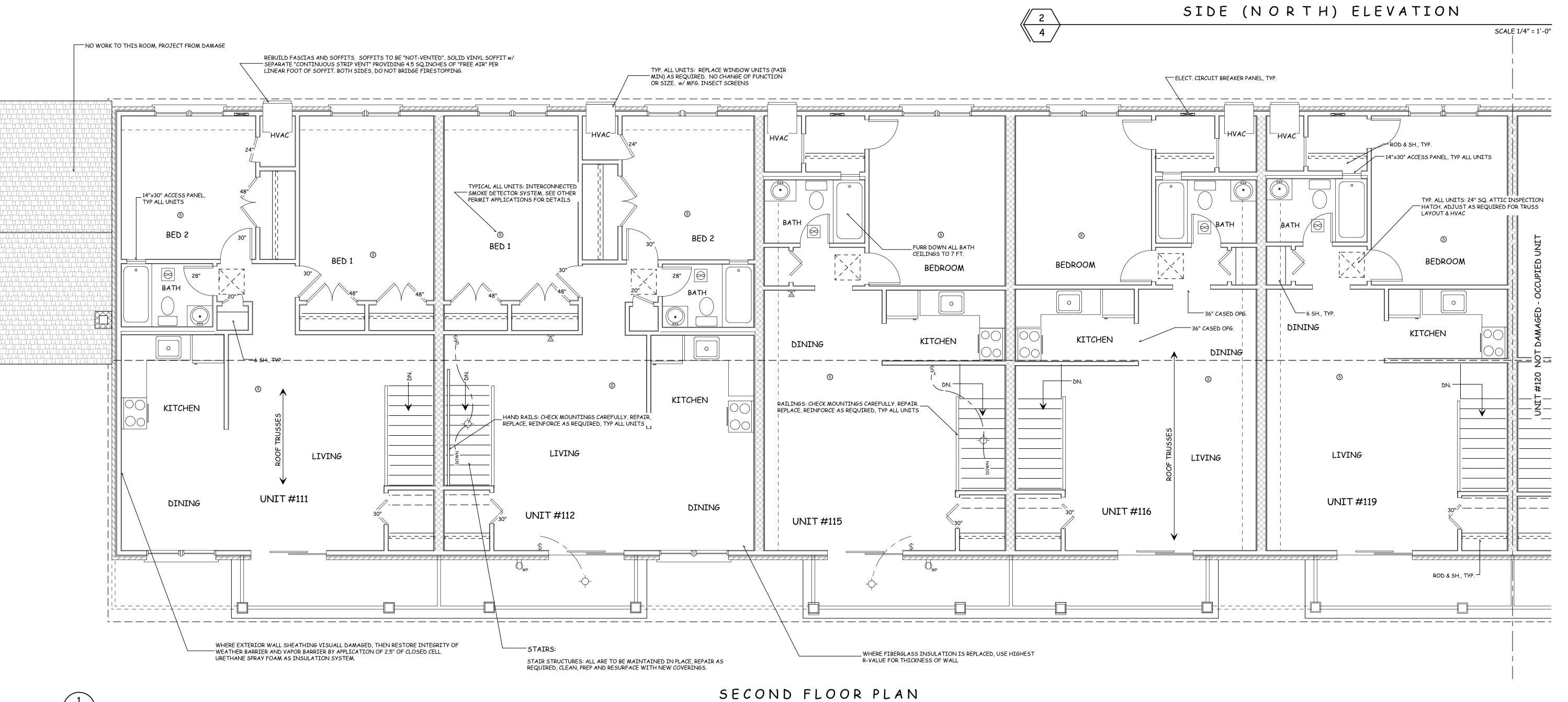
LUMBER: PROVIDE LUMBER GRADED BY A RECOGNIZED AGENCY, WITH RULES AND SERVICE COMPLYING WITH REQUIREMENTS OF AMERICAN LUMBER STANDARDS. USE ONLY LUMBER PIECES WHICH BEAR INSPECTION SERVICE GRADE MARK.

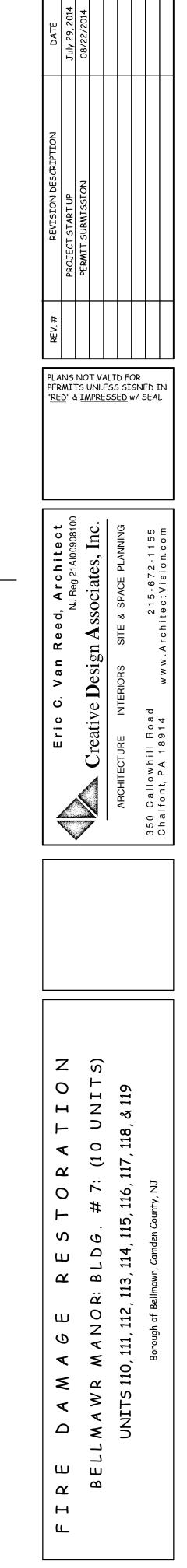
SHOP DRAWINGS: PROVIDE, SHOWING SPECIES, SIZES AND STRESS GRADES OF LUMBER TO BE USED; PITCH. SPAN, CONFIGURATION, DESIGN VALUES, AND BEARING AND ANCHORAGE DETAILS SHALL BE

CERTIFICATION: SHOP DRAWINGS MUST BEAR THE SEAL OF A NEW JERSEY REGISTERED PROFESSIONAL

LOADING: LIVE + DEAD LOADS FOR SOUTHWESTERN NEW JERSEY







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SCALE 1/4" = 1'-0"

