

GOAL OF THIS PROJECT:

- "REPAIR IN KIND" FROM FIRE DAMAGE TO APARTMENT UNITS. WORK TO MATCH THE "STANDARD" ESTABLISHED WITHIN THE COMPLEX. REPAIR THE STRUCTURE AS REQUIRED TO MAKE SAFE.
- IN THIS PROJECT, THERE IS NO CHANGE OF USE OR OCCUPANCY. JUST RESTORATION.

2009 INTERNATIONAL EXISTING BUILDING CODE

IN GENERAL, THE EXISTING BUILDING CODE SAYS: WHATEVER YOU BUILD NEW, AND/OR WHAT EVER IS SIGNIFICANTLY CHANGED, AND WHERE EVER THERE IS A CHANGE OF OCCUPANCY (USE GROUP), THEN ALL NEW AND REPAIR WORK WILL COMPLY WITH THE FUNDAMENTAL "INTERNATIONAL BUILDING CODE." THERE ARE SOME "EXCEPTIONS."

RELIEF FROM INCREASED STRUCTURAL DESIGN LOADS AND SEISMIC;
RELIEF FROM SOME PARTS OF THE ENERGY CODE
RELIEF FROM SOME REQUIREMENTS FOR "ACCESSIBILITY."

	2009 INTERNATIONAL EXISTING BUILDING CODE
SEC 402	REPAIRS: INCLUDE THE PATCHING OR RESTORATION OR REPLACEMENT OF DAMAGED MATERIALS, ELEMENT, EQUIPMENT OR FIXTURES FOR THE PURPOSE OF MAINTAINING SUCH COMPONENTS IN SOUND CONDITION. ALTERATION IS ANY CONSTRUCTION OTHER THAN AN ADDITION.
SEC 502.3	NON STRUCTURAL ALTERATIONS MAY BE MADE OF THE SAME MATERIALS AS ARE EXISTING IN THE BUILDING, PROVIDED THEY DO NOT REDUCE THE STRUCTURAL OR FIRE RESISTANT RATING OF ANY PART OF THE STRUCTURE.
SEC 604	REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.
SEC 605	ACCESSIBILITY: EXCEPTION 2: AN ACCESSIBLE MEANS OF EGRESS AS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS AND FACILITIES.

USE & OCCUPANCY GROUPS: 2009 INTERNATIONAL BUILDING CODE

	2009 INTERNATIONAL BUILDING CODE
SEC 310	R-2 APARTMENTS, MORE THAN 2 DWELLING UNITS PER BLDG.
SEC 420	VERTICAL SEPARATIONS: WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS "FIRE PARTITIONS" PER 709. HORIZONTAL SEPARATIONS: FLOOR CEILING ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE PER 712.
SEC 503	TABLE 503: BUILDING HEIGHT AND AREA LIMITATIONS: COMPLY WITH CONSTRUCTION TYPE 5B FOR USE R-2, TYPE 5B - ALLOWS 2 STORIES AND 7,000 SQ. FT. PER FLOOR.
SEC 709	VERTICAL SEPARATIONS BETWEEN UNITS SHALL BE 1-HOUR. EXISTING CONSTRUCTION QUALITIES, REPAIR AND REPLICATE AS REQUIRED.
SEC 712	HORIZONTAL SEPARATIONS SHALL BE 1-HOUR BETWEEN UNITS. EXISTING BUILDING, NO HORIZONTAL SEPARATIONS EXIST, OR WILL BE REPLACED.
SEC 1301	ENERGY EFFICIENCY: SEE THE INTERNATIONAL ENERGY CONSERVATION CODE FOR REQUIREMENTS. DO THE BEST POSSIBLE WITHIN EXISTING STRUCTURAL TRICKNESSES.

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CODE NOTES

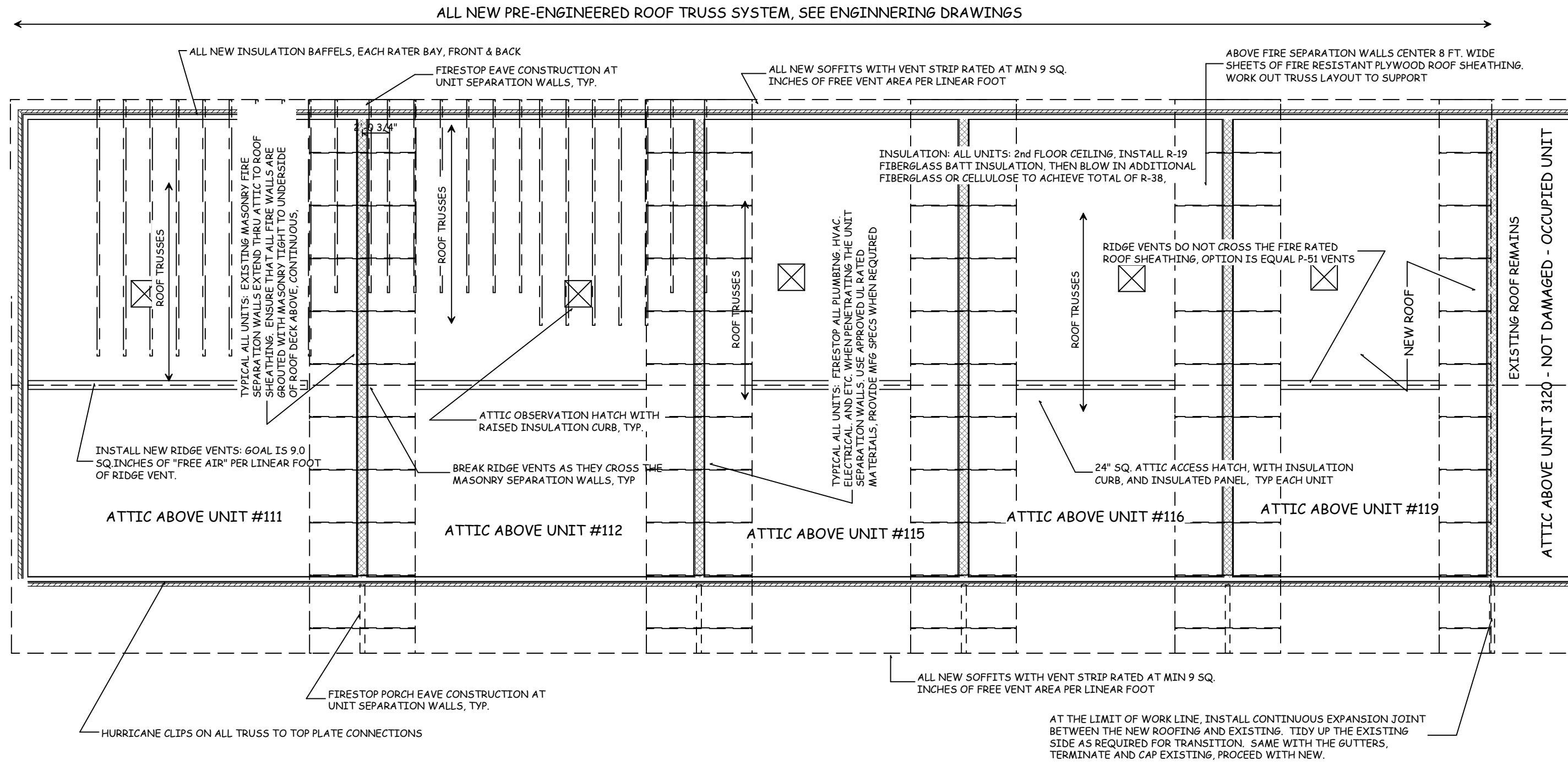


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SITE & LOCATION PLAN

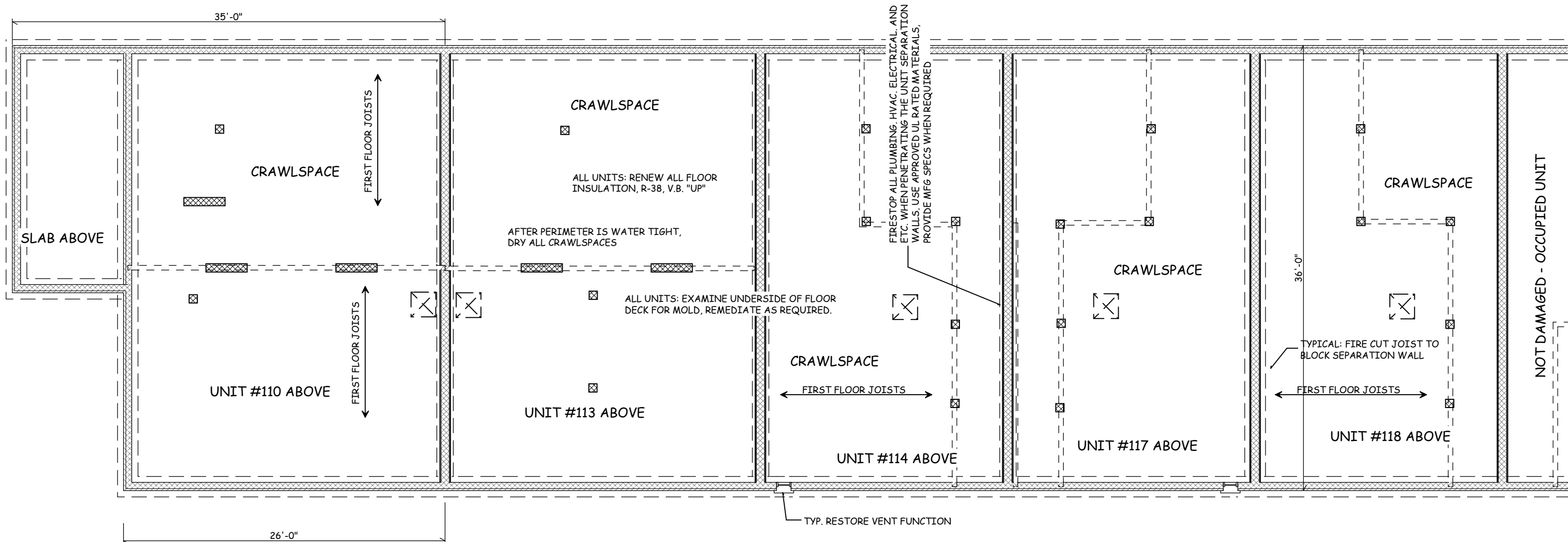
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ATTIC PLAN



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FOUNDATION & CRAWL SPACE PLAN



SCALE: 1/8" = 1'-0"

REV. #	REVISION DESCRIPTION	DATE
1	PROJECT START UP	JULY 29, 2014
2	PERMIT SUBMISSION	08/22/2014

PLANS NOT VALID FOR PERMITS UNLESS SIGNED IN 'RED' & IMPRESSED w/ SEAL

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FIRE DAMAGE RESTORATION
BELLMAWR MANOR: BLDG. # 7: (10 UNITS)
UNITS 110, 111, 112, 113, 114, 115, 116, 117, 118, & 119
Borough of Bellmawr, Camden County, NJ

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Comm. No.
2014-2990
of 4

GENERAL SCOPE OF WORK

BUILDING CODE PROJECT DEFINITION: THIS IS AN "ALTERATION - LEVEL 2"

THIS PROJECT IS TO "REPAIR AND REPLACE "IN KIND" THOSE ELEMENTS DAMAGED BY A FIRE EVENT, TO A STANDARD ENSURING THAT THE REPAIRS RETURN THE UNIT BACK TO FULL USE AND OCCUPANCY IN A CONDITION NO LESS SAFE THAN THE STANDARD TO WHICH IT WAS ORIGINALLY CONSTRUCTED.

DEMOLITIONS: PREP ALL UNITS FOR RECONSTRUCTION BY REMOVING ALL DRYWALL FROM ALL WALLS AND CEILINGS, ALLOWING DETAILED VISUAL INSPECTION OF STRUCTURE, AND ALLOWS THE REPAIR OF EXISTING SYSTEMS AND INTERCONNECTION OF NEW WORK WITH EXISTING.

STRUCTURAL: A BENEFIT OF TIMBER IS THE ABILITY TO RESIST FAILURE DURING FIRE.

VISUAL "TESTS" AND ACTIONS:

1. REINFORCE EXISTING: OBSERVE "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS LESS THAN 25%, THEN "SLISTER" AN EQUIVALENT TIMBER TO IT. SET TIMBER DECK SCREWS AT 8" O.C., STAGGERED TOP AND BOTTOM.

2. REPLACE EXISTING: COMPONENTS SHOWING "CHARING" WHERE THE LOSS OF ORIGINAL DIMENSION IS IN EXCESS OF 25%. REPLACE TIMBER COMPLETELY FROM BEARING TO BEARING.

REMOVE AND REPLACE ALL DOORS AND WINDOWS DAMAGED.

EACH CONTRACTOR SHALL VISIT SITE TO BE FULLY AWARE OF EXISTING CONDITIONS AND TO SURVEY THE QUALITY AND SCOPE OF WORK TO BE RESTORED.

SPECIFICATIONS AND MATERIAL QUALITY: ALL TRADES, SEE THE SCOPE AND QUALITY OF MATERIALS IN THE EXISTING. THIS IS A CAMPUS OF MANY UNITS AND BUILDINGS, ALL MAINTAINED TO A "STANDARD" VISUALLY ACCESSIBLE. THE BASIC STANDARD IS TO REPAIR THESE UNITS TO THE STANDARD BEFORE THE FIRE INCIDENT, OR TO REPACE WITH NEW PRODUCTS SIMILAR TO THE EXISTING IN SCOPE AND QUALITY. IN SUMMARY: "MATCH" THE STANDARD OF QUALITY "OBSERVABLE"

PLUMBING, HVAC, & ELECTRICAL: SEE OTHER PERMIT APPLICATIONS

ALARMS: REPLACE ALL THE EXISTING SMOKE DETECTION SYSTEM EQUIPMENT WITH NEW TO CURRENT CODES. SEE OTHER PERMIT APPLICATIONS

PREFABRICATED WOOD TRUSS SYSTEM

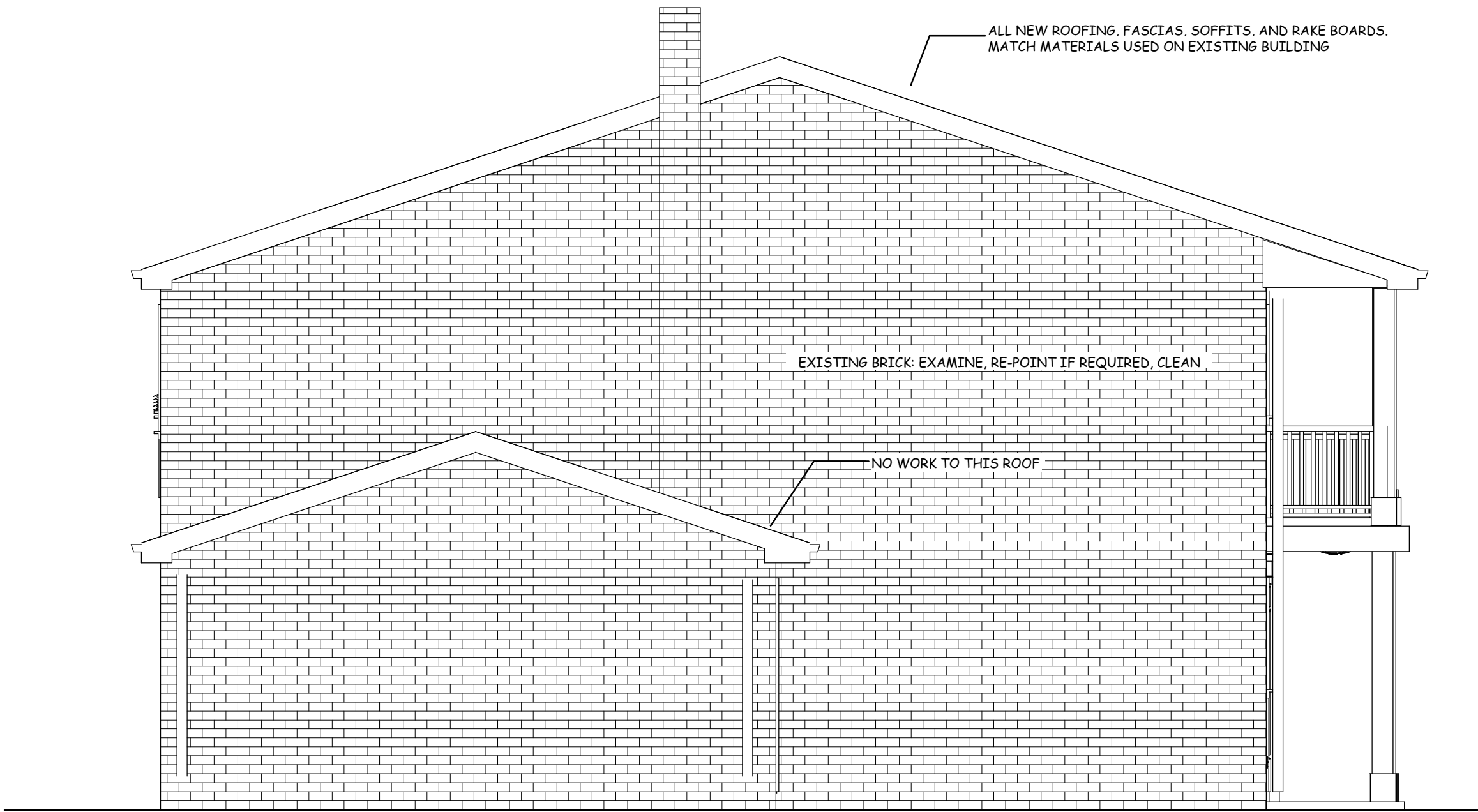
STANDARD: SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES PUBLISHED BY TRUSS PLATE INSTITUTE (TPI). QUALITY CONTROL MANUAL PUBLISHED BY TPI. WOOD STRUCTURAL DESIGN STANDARD: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY N.F.P.A.

LUMBER: PROVIDE LUMBER GRADED BY A RECOGNIZED AGENCY, WITH RULES AND SERVICE COMPLYING WITH REQUIREMENTS OF AMERICAN LUMBER STANDARDS. USE ONLY LUMBER PIECES WHICH BEAR INSPECTION SERVICE GRADE MARK.

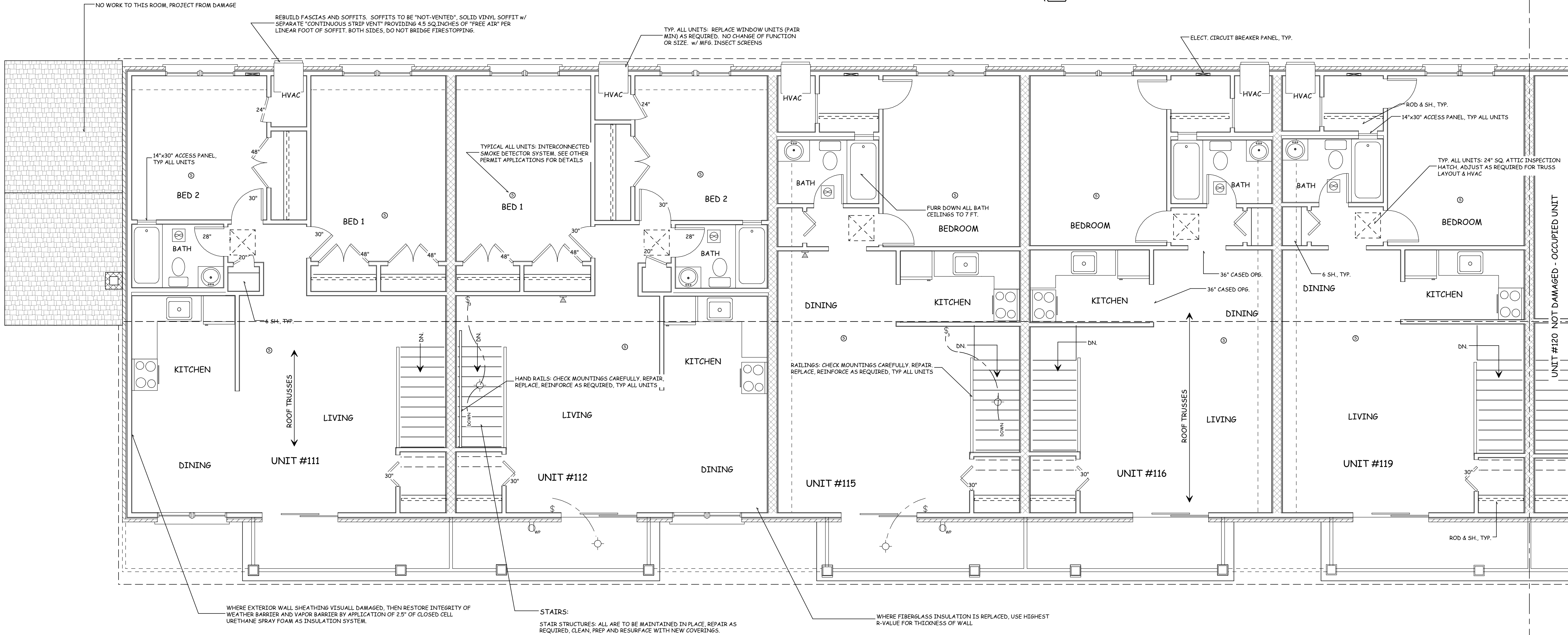
SHOP DRAWINGS: PROVIDE, SHOWING SPECIES, SIZES AND STRESS GRADES OF LUMBER TO BE USED; PITCH, SPAN, CONFIGURATION, DESIGN VALUES, AND BEARING AND ANCHORAGE DETAILS SHALL BE SUBMITTED.

CERTIFICATION: SHOP DRAWINGS MUST BEAR THE SEAL OF A NEW JERSEY REGISTERED PROFESSIONAL ENGINEER.

LOADING: LIVE + DEAD LOADS FOR SOUTHWESTERN NEW JERSEY



SIDE (NORTH) ELEVATION



SECOND FLOOR PLAN

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1	PROJECT START UP	JULY 29, 2014
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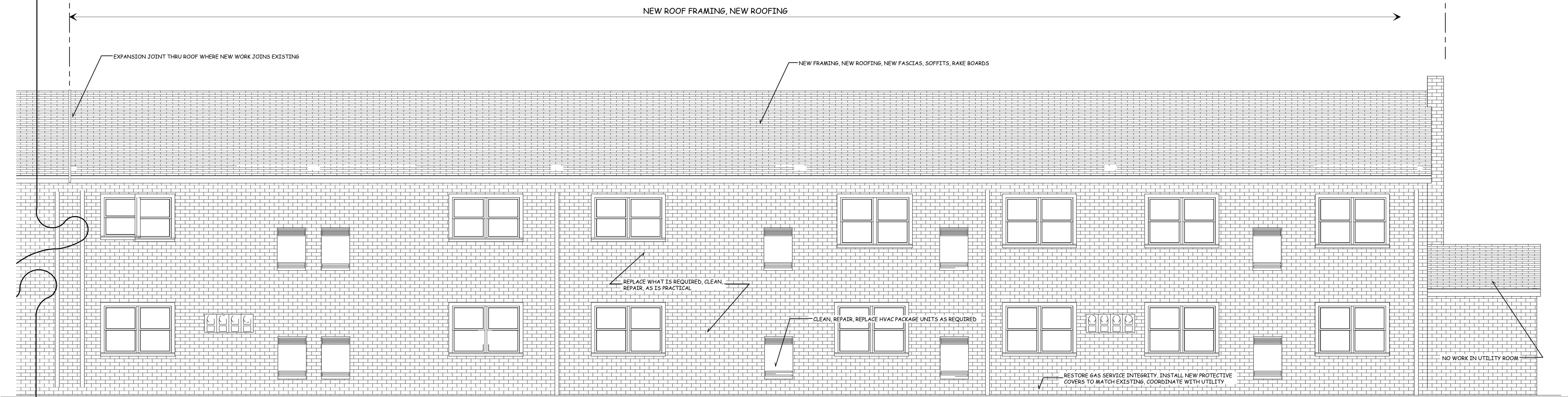
www.ArchitectVision.com

FIRE DAMAGE RESTORATION

BELLMAWR MANOR: BLDG. # 7: (10 UNITS)

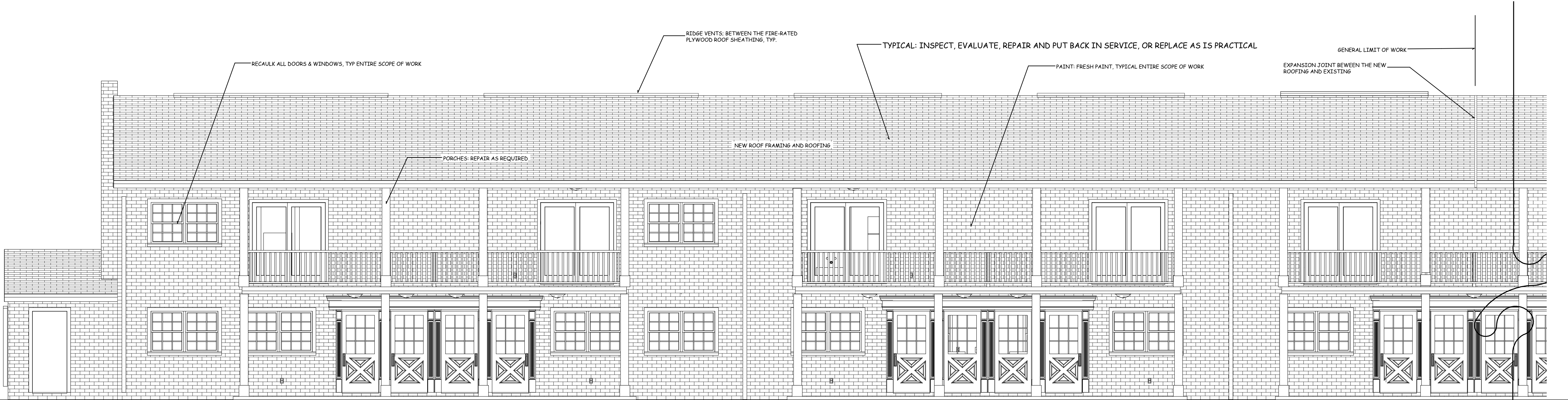
UNITS 110, 111, 112, 113, 114, 115, 116, 117, 118, & 119

Borough of Bellmawr, Camden County, NJ



REAR (E A S T) ELEVATION

SCALE 1/4" = 1'-0"

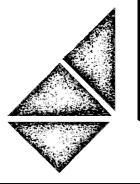


FRONT (W E S T) ELEVATION

SCALE 1/4" = 1'-0"

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