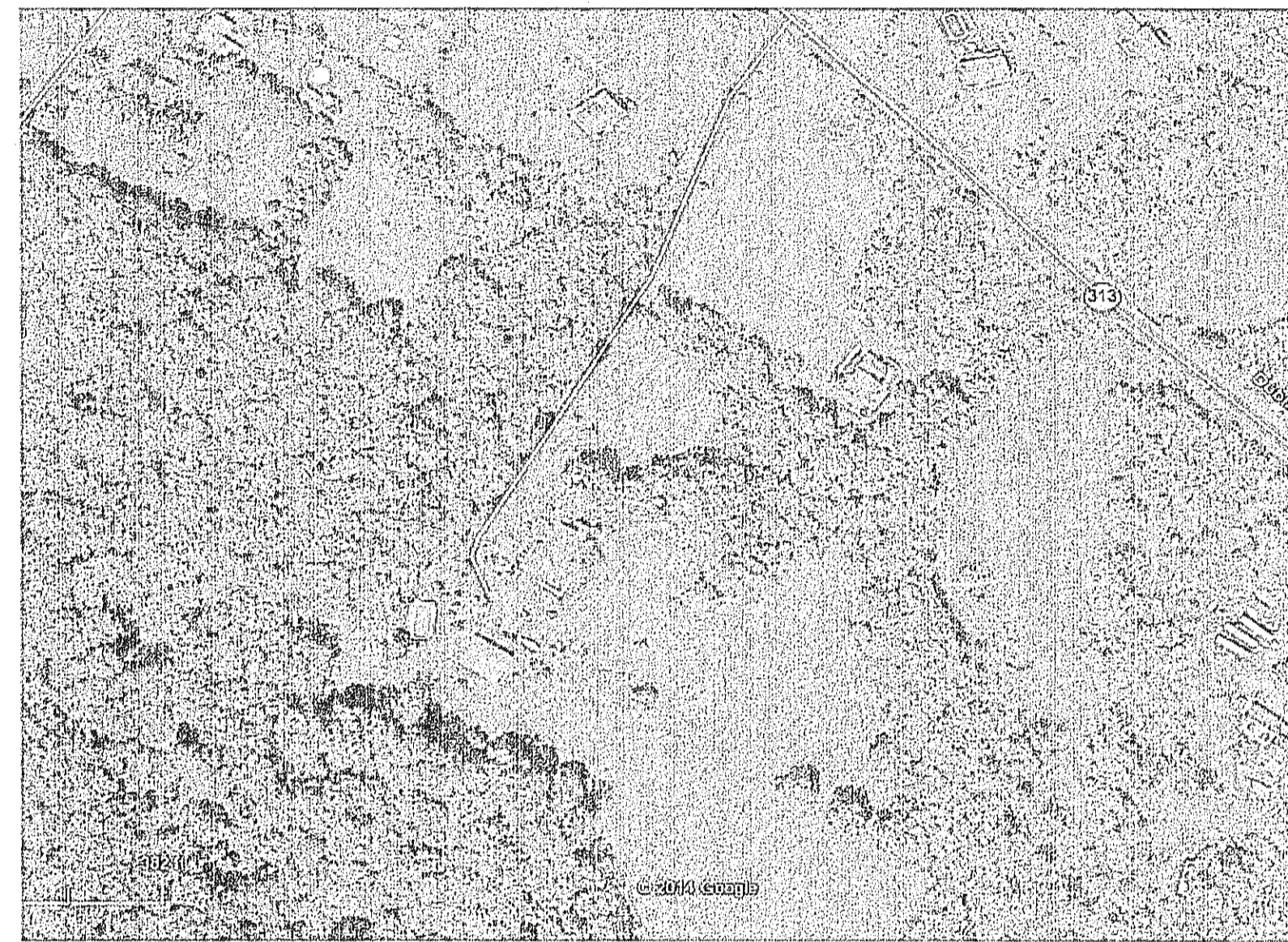
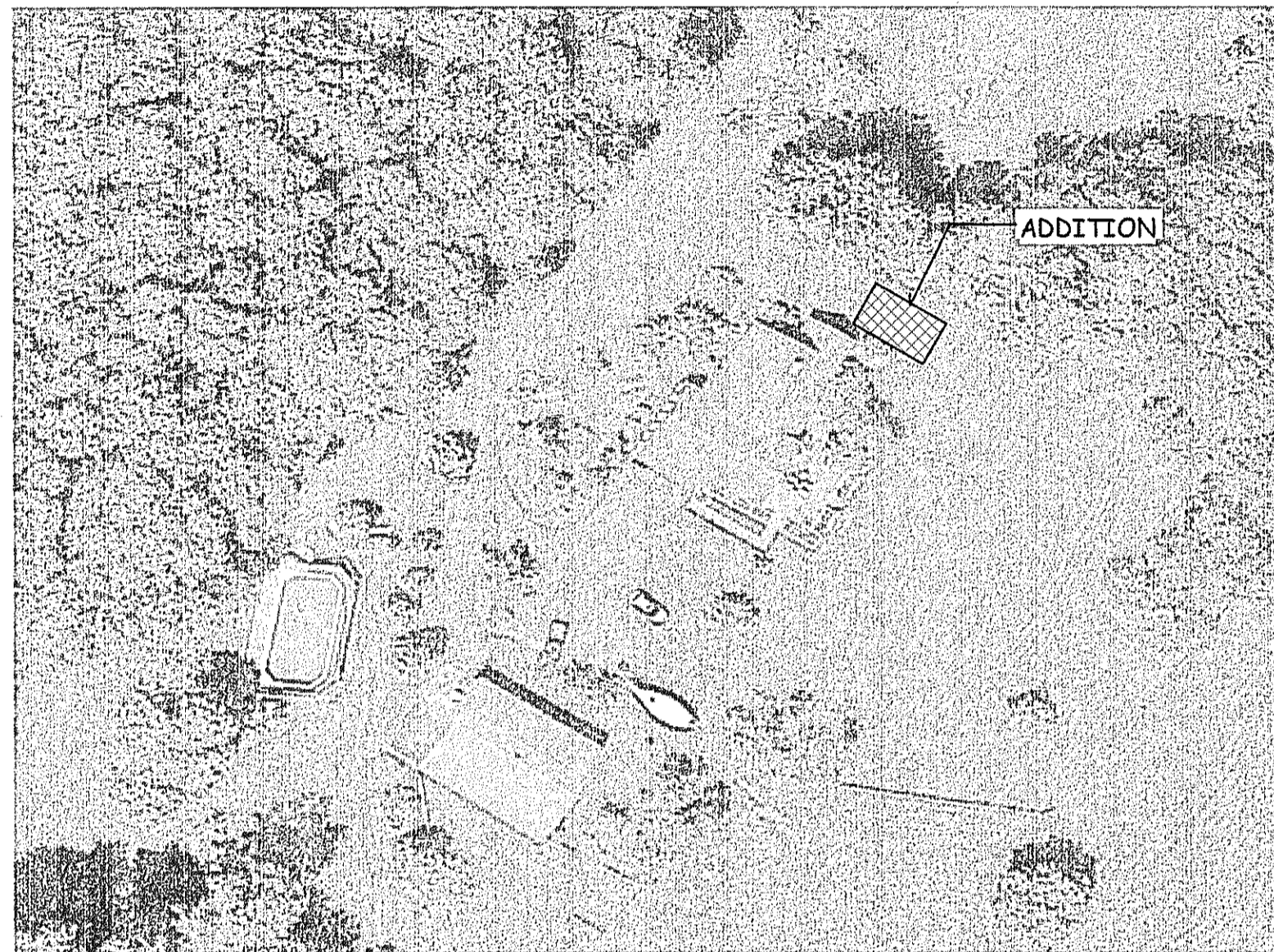


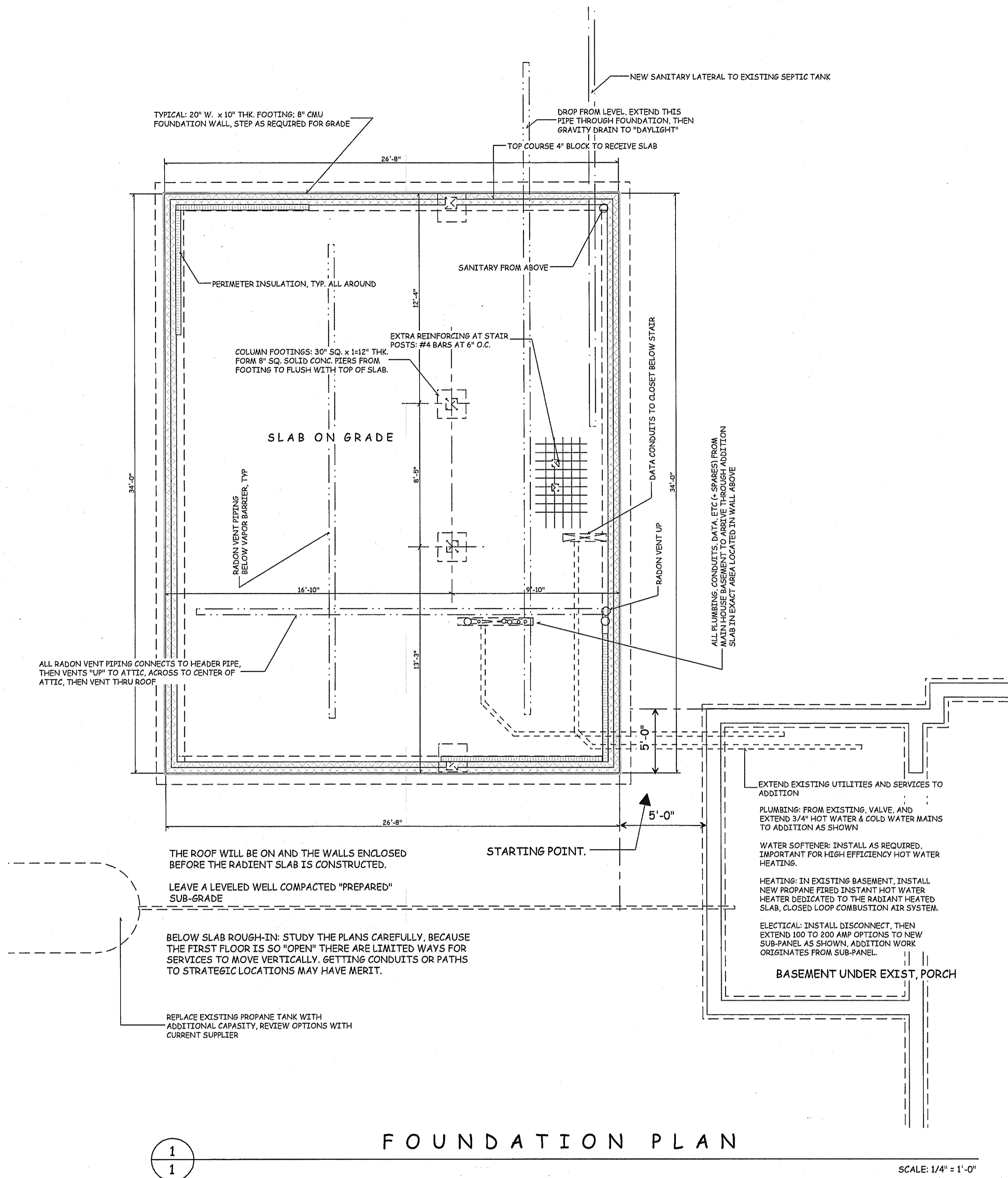
3 - D VIEWS

THESE VIEWS FOR QUICK GRASP OF PROJECT, SEE EXTERIOR ELEVATIONS AND SECTIONS FOR DETAILS



SITE PLAN

LOCATION PLAN



FOUNDATION PLAN

- #### RESIDENTIAL STAIRS (STRAIGHT), HANDRAILS, AND GUARDRAILS
- STAIRWAY WIDTH SHALL NOT BE LESS THAN 36" CLEAR. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" INTO STAIR. THE MIN. CLEAR WIDTH OF STAIRS BETWEEN HANDRAILS SHALL NOT BE LESS THAN 31.5" WITH ONE HANDRAIL, AND 27" WITH HANDRAILS BOTH SIDES.
 - MINIMUM STAIR HEADROOM SHALL NOT BE LESS THAN 80" MEASURED VERTICALLY FROM THE TREAD NOSING, THE SAME APPLIES TO LANDINGS.
 - PROFILE: MATCH THE EXISTING RISER AND TREAD EXACTLY.
 - STAIRS SHALL BE DESIGNED TO SUPPORT A UNIFORMLY DISTRIBUTED LIVE LOAD OF 40 PSF, AND/OR THE TREADS SHALL BE ABLE TO SUPPORT A CONCENTRATED LOAD OF 300 POUNDS APPLIED OVER A 4 SQ. INCH AREA, WHICHEVER PRODUCES THE GREATER STRESS.
 - LANDINGS: AT THE TOP AND BOTTOM OF STAIRS SHALL BE A LANDING OF EQUAL WIDTH TO THE STAIR SERVED, AND MIN. DEPTH OF 36" MEASURED IN THE DIRECTION OF TRAVEL. A LANDING IS NOT REQUIRED AT THE TOP OF INTERIOR STAIRS, PROVIDED NO DOOR SWINGS OVER THE STAIR.
 - HEIGHT OF VERTICAL TRAVEL: NO STAIR SHALL RISE MORE THAN 144" VERTICAL WITHOUT AN INTERMEDIATE LANDING.
 - HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF FOUR (4) OR MORE RISERS.
 - REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS FROM A POINT DIRECTLY ABOVE THE TOP AND BOTTOM RISER. ENDS SHALL BE RETURNED TO THE WALL OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND THE HANDRAIL.
 - HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1.25 TO 2 INCHES, OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4 INCHES BUT NOT MORE THAN 5.25 INCHES AND A LARGEST CROSS-SECTION DIMENSION NOT EXCEEDING 2.25 INCHES, OR THE SHAPE SHALL PROVIDE EQUIVALENT GRASP ABILITY. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH. SEE CODE FOR ADDITIONAL REQUIREMENTS.
 - GUARDRAILS: PORCHES, STAIR LANDINGS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
 - GUARDRAILS SHALL HAVE INTERMEDIATE RAILS (BALUSTRADE) OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW THROUGH PASSAGE OF AN OBJECT OF 4-INCH DIAMETER OR MORE.
 - EXCEPTION: THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE PERMITTED TO BE OF A SIZE THAT A SPHERE 6-INCHES IN DIAMETER CANNOT PASS THROUGH.
 - HANDRAIL AND GUARDRAIL DESIGN SHALL BE OF SUFFICIENT STRENGTH TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION ALONG THE TOP. INFILL BALUSTRADES SHALL BE DESIGNED TO RESIST A HORIZONTALLY APPLIED LOAD OF 50 POUNDS APPLIED ON AN AREA OF 1 SQ. FT., WHERE DEFLECTION OF ALL MEMBERS (HORIZONTAL AND VERTICAL) SHALL BE LIMITED TO L/240.

GENERAL NOTES

- #### CONTRACTOR INSURANCES:
- INSURANCE: BEFORE INITIATING ANY WORK AT SITE, CONTRACTOR(S) SHALL PROVIDE PROOF OF INSURANCE, INCLUDING COMMERCIAL GENERAL LIABILITY, WORKMEN'S COMPENSATION AND AUTOMOBILE LIABILITY. MINIMUM LIMITS SHALL BE AS FOLLOWS:
- | | | |
|------------------------------|--------------------------------|-----------------------------|
| COMMERCIAL GENERAL LIABILITY | GENERAL AGGREGATE | \$ 1,000,000. ⁰⁰ |
| | PRODUCTS - COMP / OF AGGREGATE | \$ 1,000,000. ⁰⁰ |
| | EACH OCCURRENCE | \$ 1,000,000. ⁰⁰ |
| | FIRE DAMAGE (ANY ONE FIRE) | \$ 100,00. ⁰⁰ |
| | MED. EXPENSE (ANY ONE PERSON) | \$ 5,000. ⁰⁰ |
| AUTOMOBILE LIABILITY | SINGLE COMBINED LIMIT | \$ 250,000. ⁰⁰ |
| WORKMAN'S COMPENSATION | STATUTORY LIMITS | |
| GENERAL "UMBRELLA" | | \$ 2,000,000. ⁰⁰ |
- BEFORE CONTRACTOR DOES ANY WORK ON SITE, CERTIFICATES SHALL BE PROVIDED DIRECT FROM THE CONTRACTOR'S AGENT, VERIFYING THAT OWNER AND ARCHITECT ARE NAMED AS "ADDITIONAL NAMED INSURED" ON CONTRACTOR'S LIABILITY AND UMBRELLA POLICIES.
 - OWNER AND ARCHITECT SHALL BE GIVEN 30 DAYS NOTICE BEFORE ANY POLICIES EXPIRE. CONTRACTOR SHALL MAINTAIN THIS REQUIREMENT FOR A MIN OF 30 DAYS AFTER FINAL PAYMENT. CERTIFICATES EVIDENCING SUCH COVERAGE AND INCLUSION OF THE OWNER AND ARCHITECT SHALL BE PROVIDED TO BOTH.
- #### RESIDENTIAL CODES
- CONTRACTOR(S) SHALL COMMUNICATE WITH THE MUNICIPALITY TO VERIFY REQUIRED TYPES AND FREQUENCY OF INSPECTIONS, AND SHALL SECURE ALL PERMITS, LICENSES, APPROVALS, AND INSPECTIONS REQUIRED DURING THE PROGRESS OF THE WORK.
 - ALL CONTRACTORS ARE REQUIRED TO BE LICENSED OR REGISTERED WITH PENNSYLVANIA.
 - ALL CONTRACTORS AND TRADESMEN ARE EXPECTED TO BE CURRENT WITH REGULATORY CODES AND HAVE COPIES FOR REFERENCE AS REQUIRED. TO OBTAIN: SEE THE INTERNATIONAL CODE COUNCIL.
 - FOR RESIDENTIAL WORK, THE CODES WHICH APPLY ARE:
INTERNATIONAL RESIDENTIAL CODE, 2009
ICC ELECTRICAL CODE, 2009 (UTILIZES NATIONAL ELECTRIC CODE STANDARDS)
INTERNATIONAL ENERGY CONSERVATION CODE, 2009
- #### BEFORE YOU DIG:
- CALL THE PA "ONE CALL SYSTEM." STOP! BEFORE YOU DIG IT IS MANDATORY TO CALL THE PENNSYLVANIA "ONE CALL SYSTEM." 1-800-242-1776. ALL CONTRACTORS, INCLUDING SUB-CONTRACTORS, SHOULD MAKE THEIR OWN NOTIFICATION. NOTE, THE ONLY PARTY PROTECTED BY THE NOTIFICATION IS THE CALLER.
- #### FIELD CHANGES:
- WHEN CHANGES AFFECT THE STRUCTURAL OR BUILDING SHELL, THOSE CHANGES SHALL BE DIRECTED TO THE ARCHITECT PROMPTLY IN WRITING FOR REVIEW AND APPROVAL.

- #### GENERAL NOTES, WARRANTEE:
- QUALITY OF WORKMANSHIP AND MATERIALS: THE CONTRACTOR(S) AGREES HE SHALL ENGAGE WORKMEN EXPERT IN THEIR RESPECTIVE TRADES WHOSE WORK SHALL COMPLY WITH THE HIGHEST STANDARDS OF THEIR RESPECTIVE TRADE ASSOCIATIONS. IT IS UNDERSTOOD THE ARCHITECT HAS NOT DETAILED ALL ASPECTS OF THE WORK WHICH ARE A "COMMONLY UNDERSTOOD CONSTRUCTION PRACTICE". IF INTERPRETATIONS OR CLARIFICATIONS ARE REQUIRED, THE CONTRACTOR(S) SHALL SECURE SUCH INFORMATION FROM THE ARCHITECT OR THE OWNER BEFORE PROCEEDING.
 - PROJECT GUARANTEE: THE CONTRACTOR(S) AND ALL SUBCONTRACTORS UNDER HIS RESPONSIBILITY SHALL GUARANTEE ALL WORKMANSHIP AND INSTALLED MATERIAL FOR A MINIMUM OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION. WITHIN THE ONE-YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL REMAIN RESPONSIBLE TO THE OWNER FOR PROMPT AND DILIGENT REPAIR OR REPLACEMENT OF FAILED MATERIALS AND OR WORKMANSHIP. COMPONENTS, EQUIPMENT AND INSTALLATIONS THAT ARE PROTECTED WITH EXTENDED MANUFACTURER'S WARRANTIES SHALL BE IDENTIFIED TO THE OWNER. THE OWNER SHALL RECEIVE RECEIPTS AND VALIDATED WARRANTIES REGISTRATIONS.
 - DEMONSTRATING THESE EXTENDED PROTECTIONS, TITLE TO ALL EQUIPMENT AND COMPONENTS WITH WARRANTIES SHALL BE MADE IN THE OWNER'S NAME.
 - CONSTRUCTION DEBRIS: ALL CONSTRUCTION MATERIAL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE GC. DAILY CLEANUP SHALL BE IN CONTAINERS OR DUMPSTERS MAINTAINED BY THE GC. DO NOT BURY OR BURN ANY MATERIAL AT THE SITE.
 - SITE SAFETY: THE GENERAL CONTRACTOR IS COMPENSATED FOR ORGANIZING AND EXECUTING THE WORK AT THE SITE. THIS, THE GC IS RESPONSIBLE FOR ALL SITE SAFETY PRECAUTIONS AND ALL SITE SUPERVISION.
- #### PERMITS AND MUNICIPAL APPROVALS:
- THE CONTRACTOR WILL PREPARE AND APPLY FOR ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING ZONING, BUILDING, ENERGY CONSERVATION, AND TRADES (PLUMBING, HVAC, ELECTRICAL). CONTRACTOR SHALL START THE PERMIT PROCESS AND MAINTAIN THE RESPONSIBILITY FOR COORDINATION & INSPECTIONS THROUGHOUT THE PROJECT.
 - PERMITTING IS A MULTI-PART PROCESS, WITH SECTIONS RELATING TO MAJOR TRADES. BECAUSE ALL PARTS ARE INTER-RELATED, SOME MUNICIPALITIES REQUIRE ALL PARTS BE SUBMITTED AT THE SAME TIME. THIS REQUIRES PLANNING AND COORDINATION BY THE CONTRACTOR(S), AND MAY INCLUDE SEPARATE REVIEWERS (THIRD PARTY) FOR DIFFERENT PARTS. VARIOUS REQUIREMENTS, FORMS, AND ETC. IT IS THE CONTRACTOR(S) RESPONSIBILITY TO DETERMINE WHAT THIS MUNICIPALITY REQUIRES.
 - THE ARCHITECT'S DRAWINGS DESCRIBE THE: A) THE DESIGN INTENT; B) THE STRUCTURAL SYSTEM; C) THE EXTERIOR ENVIRONMENT, LIFE-SAFETY SYSTEMS, E) AND ENERGY CONSERVATION REQUIREMENTS. IN GENERAL, THE ARCHITECT IS DESCRIBING THE OVERALL BUILDING SHELL, AND LOCATING THE MAJOR FIXTURES AND EQUIPMENT. THE ARCHITECT IS NOT PROVIDING PERFORMANCE SPECIFICATIONS FOR TRADE WORK.
 - THE CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING ALL OTHER TRADE INPUT REQUIRED TO COMPLETE THE PERMIT PROCESS. THE ARCHITECT IS NOT PROVIDING DESIGN AND DOCUMENTATION OR INSTALLATION DETAILS FOR PLUMBING, SPRINKLER, HVAC, ELECTRICAL, OR SECURITY SYSTEMS WORK. THE GC MUST ENGAGE QUALITY SUBCONTRACTORS WITH THE EXPERTISE AND CAPABILITY TO PROVIDE ANY DOCUMENTATION (SHOP DRAWINGS, EQUIPMENT SIZING, PLUMBING RISER DIAGRAMS, DESIGN LAYOUTS, HEAT GAIN & HEAT LOSS CALCULATIONS, ELECTRICAL LOAD CALCULATIONS, CATALOG CUT SHEETS, EQUIPMENT ENERGY RATINGS, ETC.) NECESSARY TO SUPPORT THESE PERMIT SECTIONS.

DATE	JUNE 23, 2014
REVISION DESCRIPTION	
FOR PERMITS	
REV. #	

PLANS NOT VALID FOR PERMITS UNLESS SIGNED WITH "RED" INK & IMPRESSED w/ SEAL

Eric C. Van Reed, Architect
Creative Design Associates, Inc.
ARCHITECTURE INTERIORS SITE & SPACE PLANNING
950 Callowhill Road
Cheffont, PA 18914
215-672-1155
www.Architectvision.com

1740 Rt. 313 ADDITION
East Rockhill Township, Bucks Co., PA

CDA Comm. No. 2014-2993

Sheet No. 1 of 1